



**ACME TOWNSHIP PLANNING COMMISSION MEETING
ACME TOWNSHIP HALL
3593 Bunker Hill Rd, Williamsburg MI 49690
(Former Acme Laundromat at US-31 & Bunker Hill Rd)
July 8th, 2019 7:00 p.m.**

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 pm

ROLL CALL: Members present: K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

Members excused: M. Timmins

Staff present: L. Wolf, Planning & Zoning Administrator, S. Winter, Planning Consultant Beckett & Raeder, V. Donn, Recording Secretary

A. LIMITED PUBLIC COMMENT: Open at 7:01 pm

Brian Kelley, Acme Resident (Submitted written comments to be added to the packet)

Richard Radlaff, Traverse Bay RV Resort, voiced the importance of public comments in the meeting notes. He stated on the northern end of the Traverse Bay RV Resort are tiny houses that were approved by an amendment to the condominium. He questioned who was paying for the taxes on these units since they are rented out.

Rob Evina, 6075 Arabian Drive, supports the child care center and feels this would be good to occupy in this building and a great addition for the community.

Limited Public Comment closed at 7:10 pm

B. APPROVAL OF AGENDA:

Motion by White to approve the agenda as presented, supported by Balentine. Motion carried unanimously.

C. INQUIRY AS TO CONFLICTS OF INTEREST: None

D. SPECIAL PRESENTATIONS: None

E. CONSENT CALENDAR:.

1. RECEIVE AND FILE

- a. Township Board Draft Regular Meeting Minutes 06.04.19
- b. Parks & Trails Committee Draft Meeting Minutes 06.21.19

2. ACTION:

- a. Approve Draft Planning Commission Meeting Minutes 05.13.19
- b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19
- c. Approve Draft Planning Commission Meeting Minutes 06.10.19

Feringa requested to remove under 2. ACTION, c. Approve Draft Planning Commission Meeting Minutes 06.10.19.

Motion by Feringa to approve the Consent Calendar with removal of Item 2. ACTION, c. Adopt Planning Commission Meeting Draft Minutes 06.10.19, supported by White. Motion carried unanimously.

Brian Kelley requested to remove under 2. ACTION, a. Approve Draft Planning Commission Meeting Minutes 05.13.19 and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.2019.

Motion by Feringa to approve the Consent Calendar with removal of Item 2. ACTION, a. Approve Draft Planning Commission Meeting Minutes 05.13.19, b. Approve Draft Special Planning Commission Meeting Minutes 05.21.2019 and c. Approve Draft Planning Commission Meeting Minutes, supported by Balentine. Motion carried unanimously.

F. ITEMS REMOVED FROM THE CONSENT CALENDAR

1. Remove Draft Planning Commission Meeting Minutes 06.10.19
2. Remove Draft Planning Commission Meeting Minutes 05.13.19
3. Remove Draft Special Planning Commission Meeting Minutes 05.21.19

Feringa stated he was absent from the meeting, so he abstained from approval of the 06.10.19 Draft Planning Commission Meeting minutes.

Motion by White to approve the Consent Calendar with Draft Planning Commission Meeting Minutes 06.10.19, supported by VanHouten. Motion carried by 5 (Wentzloff, Rosa, VanHouten, Balentine, White), abstained by 1 Feringa.

Brian Kelley would like to restore a summary of the public comments from Jim Heffner to the 05.13.2019 and his own to the 05.21.19 meetings.

Wentzloff said both Heffner and his comments will be added to the revised minutes.

G. CORRESPONDENCE: None

H. PUBLIC HEARINGS: Opened at 7:18 pm

1. Zoning Ordinance Amendment 051 – Child Care Centers (PZR 2019-12)

Wentzloff stated this is not on a public hearing on a specific application it is on a text amendment only to include under the definition of child care center in corridor commercial and corridor flex and not to any individual application.

Jamie Cramer, 6111 Sunset Breeze, she supports the child care center and said it is good to have in a commercial building where utilities and roads are already in place, rather than a residential area.

James Stajos, 1717 US 31 N., owns Pro Fireworks and when the township voiced concerns of having a child care business in his building he contacted MDOT, LARA, the licensing for daycare, and Metro. MDOT said there were no problems with the flow of traffic for drop off and pickup. Metro confirmed as long as there was a state license, the building was highly regulated and was built with good fire separation for this type of business. LARA also said the site would meet their requirements.

Brian Kelley, Acme resident, stated the speed limit for US 131 in that location should be 35 mph to reduce the accidents that keep taking place at the 55 mph it currently is. He would like to see the township help in getting this done.

Ann Stadel, 3518 Kennedy Place, supports the day care and feels this would be a great addition to our community.

Elizabeth Reid, 3181 Zimmerman Rd., supports the day care center and it would be good for the community.

Closed at 7:31pm

I. OLD BUSINESS:

1. Zoning Ordinance Amendment 051 – Child Care Centers (PZR 2019-12)

Winter clarified the township wasn't trying to stir them to go in a residential district, it was because of the amendment. The district they were pursuing would not allow it, but it would be in a residential location.

Motion by Feringa to recommend the Board adopt Zoning Ordinance Amendment 051 Child Care Centers as a use by right in the C: Corridor Commercial and CF: Corridor Flex Districts, as presented in the draft table in Section 6.6.4.1 Regulated Uses, and to change the definition of Child Care Centers in Section 3.2 to read Child Care Center: A facility for the care of children, as defined by MCL 722.111, supported by Rosa. Motion carried unanimously.

Winter informed in the current ordinance this is dropping in the definition (1. a) in the Child Care Section. It no longer matches it is actually 1. h not 1. a.

2. SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center (PZR 2019-09)

Chris Biggers, architect for Bigg Architecture, gave an update on the list of conditions that were given to meet before issuing a land use permit. The plans were emailed electronically his week with the revisions but did not make it in the packet. The PC committee reviewed the new plans on the drainage, storm storage area, parking, lighting and landscaping.

Motion by Feringa to approve Site Plan Review application SPR 2019-05, submitted by Alexander M. Leonowicz, Redbud Roots Lab X Inc, to modify and occupy an approximately 2,468 square foot licensed medical marihuana provisioning center located at 6669 E M-72, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit.

- 1. Submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor to install the plantings on the landscape plan, prepared by a professional landscaper.**
- 2. Receive a favorable storm water management plan and calculations review by the Township's engineer of record after all required improvements and revisions have been included.**
- 3. Submit a set of revised plans in electronic pdf format and a set of full-size prints sealed by a licensed engineer, architect or landscape architect and signed by the Applicant and Planning Commission Chair.**

Supported by Balentine. Motion carried unanimously.

J. NEW BUSINESS:

1. Planning Commission/Zoning Board of Appeals Representative

Dan VanHouten volunteered to be on the Planning Commission/Zoning Board of Appeals.

K. PUBLIC COMMENT & OTHER PC BUSINESS: Opened at 8:09 pm

Brian Kelley, Acme Resident, commented on his disapproval of how the Redbud Roots Lab X Marihuana Provisioning Center site plan application was handled. He felt the requirements for the applicant should not have been given last minute and reviewed at the PC meeting. They should come back to the next meeting when prepared and gave the commissioners the information in advance to review.

Closed at 8:11 pm

Wentzloff informed Jay Zollinger will be retiring as the township supervisor this October.

- 1. Planning & Zoning Administrator Report** – Lindsey Wolf reported there may be another marijuana provisional center request brought before the committee at the August meeting, or at a special meeting if they decide to go that route.
- 2. Township Board Report** – Doug White reported the township hall is coming along and may be completed for the next PC meeting.
- 3. Parks & Trails Committee Report** – K. Wentzloff commented on how Bayside Park has been busy and well used.

ADJOURN: Motion to adjourn by Feringa, supported by White. Meeting adjourned at 8:15 pm

To: Acme Township Planning Commission
From: Brian Kelley, Acme Township resident

July 8, 2019

Good evening,

At the last meeting there was some discussion regarding the change in public comment policy, and no longer summarizing public comments in the minutes. Those of you who voiced an opinion seemed to support the importance of summarizing comments, as Acme has always done.

I went back and reviewed the May 13 and May 21 Planning Commission minutes and saw no record of discussion on the policy, and certainly no record of a change. If a decision is made at a PC meeting to alter the public comment policy, should that not be captured in the minutes?

I noticed in the Packet this evening that the draft minutes for the May 13 meeting apparently remain the same - Jim Heffner's public comment is not summarized. Jim typically makes thoughtful comments, so it is unfortunate to see his contribution missing.

I see that the May 21 draft PC minutes have been updated to include a summary of Mr. Richard Rudlaff's comment. His comment was missing from the original draft minutes. While I don't believe his most important points are captured, it is nice to see it back.

However, during the final public comment of that meeting, I also made a comment. It has not been summarized in the updated minutes. Surely that must have been an oversight - to add Mr Rudlaff's comment but not mine? Please correct those minutes to also summarize my public comment.

Thank you,
Brian Kelley



ACME TOWNSHIP PLANNING COMMISSION MEETING
ACME TOWNSHIP HALL
3593 Bunker Hill Rd, Williamsburg MI 49690
(Former Acme Laundromat at US-31 & Bunker Hill Rd)
July 8th, 2019 7:00 p.m.

CALL TO ORDER
WITH PLEDGE OF ALLEGIANCE

ROLL CALL:

- A. LIMITED PUBLIC COMMENT:** Members of the public may address the Commission regarding any subject of community interest during public comment periods by filling out a Public Comment Card and submitting it to the Secretary. Public comments are limited to three minutes per individual. Comments during other portions of the agenda may or may not be entertained at the moderator's discretion
- B. APPROVAL OF AGENDA:**
- C. INQUIRY AS TO CONFLICTS OF INTEREST:**
- D. SPECIAL PRESENTATIONS:**
- E. CONSENT CALENDAR:** The purpose of the consent calendar is to expedite business by grouping non-controversial items together for one Commission motion without discussion. A request to remove any item for discussion later in the agenda from any member of the Commission, staff or public shall be granted.
 - 1. RECEIVE AND FILE**
 - a.** Township Board Draft Regular Meeting Minutes 06.04.19
 - b.** Parks & Trails Committee Draft Meeting Minutes 06.21.19
 - 2. ACTION:**
 - a.** Approve Draft Planning Commission Meeting Minutes 05.13.19
 - b.** Approve Draft Special Planning Commission Meeting Minutes 05.21.19
 - c.** Approve Draft Planning Commission Meeting Minutes 06.10.19
- F. ITEMS REMOVED FROM THE CONSENT CALENDAR**
 - 1.** _____
 - 2.** _____
- G. CORRESPONDENCE:**
 - 1.** None received as of 7.2.2019
- H. PUBLIC HEARINGS:**
 - 1.** Zoning Ordinance Amendment 051 – Child Care Centers (PZR 2019-12)
- I. OLD BUSINESS:**
 - 1.** Zoning Ordinance Amendment 051 – Child Care Centers (PZR 2019-12)
 - 2.** SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center (PZR 2019-09)
- J. NEW BUSINESS:**
 - 1.** Planning Commission/Zoning Board of Appeals Representative
- K. PUBLIC COMMENT & OTHER PC BUSINESS**
 - 1.** Planning & Zoning Administrator Report – Lindsey Wolf
 - 2.** Township Board Report – Doug White
 - 3.** Parks & Trails Committee Report – Marcie Timmins

ADJOURN:

If you are planning to attend and are physically challenged, requiring any special assistance, please notify Cathy Dye, Clerk, within 24 hours of the meeting at 938-1350.



MEMORANDUM

Planning and Zoning

6042 Acme Road | Williamsburg, MI | 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: www.acmetownship.org

To: Acme Township Planning Commission
 From: Lindsey Wolf, Planning & Zoning Administrator
 CC: Shawn Winter, Planning Consultant
 Date: July 2, 2019
 Re: July 8, 2019 Planning Commission Packet Summary

-
- A. LIMITED PUBLIC COMMENT:**
- Open: _____ Close: _____
- B. APPROVAL OF AGENDA:**
- Motion to approve: _____ Support: _____
- C. INQUIRY AS TO CONFLICTS OF INTEREST:**
- Name: _____ Item: _____
 Name: _____ Item: _____
- D. SPECIAL PRESENTATIONS:** none
- E. CONSENT CALENDAR:**
1. **RECEIVE AND FILE:**
 - a. Township Board Draft Regular Meeting Minutes 06.04.19
 - b. Parks & Trails Committee Draft Regular Meeting Minutes 06.21.19
 2. **ACTION:**
 - a. Approve Draft Planning Commission Meeting Minutes 05.13.19
 - b. Approve Draft Planning Commission Meeting Minutes 05.21.19
 - c. Approve Draft Planning Commission Meeting Minutes 06.10.19
- Motion to adopt: _____ Support: _____
- F. ITEMS TO BE REMOVED FROM THE CONSENT CALENDAR:**
1. _____
 2. _____
- G. CORRESPONDENCE:**
1. None – as of 7.2.2019
- H. PUBLIC HEARINGS:**
- Zoning Ordinance Text Amendment 051- Child Care Centers**
 Please refer to Item (1) under old business
- I. OLD BUSINESS:**
1. **Zoning Ordinance Text Amendment 051- Child Care Centers**
 A discussion was had, and motion was made at the June 10, 2019 Planning Commission

meeting to expand the proposed amendment language to consider as a use allowed by right to the C: Commercial Corridor District as well as the CF: Corridor Flexible District. A public hearing was set and scheduled for the July 8, 2019 Planning Commission meeting to consider Zoning Ordinance Amendment 051: Child care centers. A public hearing notice was published in the Record Eagle on June 23, 2019 and posted on the township website.

The draft table in Section 6.6.4.1 Regulated Uses has been amended to show child care centers as a use by right in the C: Commercial Corridor and CF: Commercial Flexible Districts. The definition of Child Care Centers in Section 3.2 has been amended to read Child Care Center: A facility for the care of children, as defined by MCL 722.111(1)(a). **It's important to note the Applicant will still need to seek a site plan approval permit approval. Adding the use to the list of allowed uses in the districts does not guarantee an approval at this location, or any specific location. All applicable Zoning Ordinance standards will need to be met.**

Suggested Motion for Consideration: Motion to recommend the Board adopt Zoning Ordinance Amendment 051 Child Care Centers as a use by right in the C: Corridor Commercial and CF: Corridor Flex Districts, as presented in the draft table in Section 6.6.4.1 Regulated Uses, and to change the definition of Child Care Centers in Section 3.2 to read Child Care Center: A facility for the care of children, as defined by MCL 722.111. *Please refer to PZR 2019-12 for more detail.*

2. SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center

The Applicant is proposing to modify and occupy an existing 2,468 sq ft structure as a licensed medical marihuana provisioning center. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. The proposed use is consistent with the intent and purpose of the zoning district as well as the future landuse category.

Chris Biggers, architect for Bigg Architecture, presented an overview of the project at the June 10, 2019 Planning Commission meeting. Winter summarized a long list of conditions that must be met prior to issuing a land use permit. It was decided by the commissioners to have these conditions met and for him to come back to the next PC meeting for review. The site plan has since been amended: 6/17/2019.

Suggested Motion for Consideration:

Motion to approve Site Plan Review application SPR 2019-05, submitted by Alexander M. Leonowicz, Redbud Roots Lab X Inc, to modify and occupy an approximately 2,468 square foot licensed medical marihuana provisioning center located at 6669 E M-72, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit:

1. The site plan be updated to
 - a. Identify a dedicated snow storage area;
2. The landscape plan be updated to
 - a. Provide a list of species by common name and scientific name that match those allowable by the zoning ordinance under the Northwest Michigan Invasive Species Network's *Recommended Planting Guidelines for Municipalities: Native Plant Recommendations*;
 - b. Submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor to install the plantings on the landscape plan, prepared by a professional landscaper. **To be provided at July 8th meeting**
3. A revised photometric plan be submitted that
 - a. Shows the location and detail type of ALL light fixtures utilizing cutoff shielding and downward facing fixtures; updated plans will be provided at
 - b. Limits wall pack fixtures to points of ingress and egress, excluding main front entry way where they shall be prohibited. **To be provided at July 8th meeting**

4. Receive a favorable storm water management plan review by the Township's engineer of record after all required improvements have been included;
5. Submit a set of revised plans in electronic pdf format and a set of full-size prints sealed by a licensed engineer, architect or landscape architect and signed by the Applicant and Planning Commission Chair. *To be provided at July 8th meeting*

J. NEW BUSINESS:

1. Planning Commission/Zoning Board of Appeals Representative

The Zoning Board of Appeals is in need of a Planning Commission Representative to serve on the Zoning Board of Appeals. The ZBA meets on the second Thursday of the month, as needed.

K. PUBLIC COMMENT & OTHER PC BUSINESS:

1. Public Comment:

Open:

Close:

2. Planning & Zoning Administrator Report: Lindsey Wolf

- **Permits** (since June 2019)
 - Land Use Permits – 6
 - Tourist Home – 1
 - Sign - 2

Nels Veliquette, has submitted an application for a conceptual review for the August 12, 2019 Planning Commission meeting. The proposed site has 125 camp sites, dog park, and picnic pavilion, located on 68 acres in the A-1 district. Campgrounds a use permitted by special use, subject to the requirements of Section 9.4.

3. Township Board Report: Doug White

4. Parks & Trails Committee Report: Marcie Timmins

L. ADJOURN:

Motion to adjourn:

Support:



ACME TOWNSHIP REGULAR BOARD MEETING
3593 Bunker Hill Rd, Williamsburg MI 49690
Will be held in the old Acme Laundry
Tuesday, June 4, 2019 7:00 p.m.

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 p.m.

ROLL CALL: Members present: J. Zollinger, C. Dye, A. Jenema, J. Aukerman, D. White, P. Scott, D. Nelson

Members excused: None

Staff present: V. Donn, Recording Secretary

A. LIMITED PUBLIC COMMENT: Open at 7:01 pm

Zollinger introduced Lindsey Wolf the new Planning and Zoning Administrator.

Brian Kelley, Acme resident (Submitted written comments to be added to packet)

Limited Public Comment closed at 7:05 pm

B. APPROVAL OF AGENDA:

Zollinger added to the agenda under I. Correspondence, 1. Update on Township Farmland Preservation Program and K. New Business, 4. Resolution 2019-26 for Declaration Notice Acme Bayside Park.

Motion by Nelson to approve the agenda as presented with the addition under I. Correspondence, 1. Update on Township Farmland Preservation Program and K. New Business, 4. Resolution 2019-26 for Declaration Notice Acme Bayside Park, supported by White. Motion carried unanimously.

C. APPROVAL OF BOARD MINUTES: 05/14/19

Aukerman stated there was a missing zero under L. Old Business 1. Zoning/Planning Position, it should have read \$59,500 not \$5950.

Motion by White to approve the meeting minutes of 05/14/19 with correction, supported by Scott. Motion carried unanimously.

D. INQUIRY AS TO CONFLICTS OF INTEREST: None

E. REPORTS

- a. Clerk:** Dye reported she has moved out of her office while the construction is being done. They are sharing an office and computer, so there are some delays with completing some duties.
- b. Parks:** Jenema reported the Bayside Park opening went well despite the bad weather. Zollinger informed there was some problems with Bayside Park bathhouse water heater and plumbing, Saylor Park pump, Acme Cemetery pump and issues with township hall pump. All have been fixed.
- c. Legal Counsel – J. Jocks:** No report
- d. Sheriff:** Deputy Nate Lentz reported with the nice weather traffic is up and drivers are increasing their speeds causing more accidents.
- e. County:** G. LaPointe reported there was an issue with the 2% Grant money from the Tribe on how the money should be paid out. Requests came from the public to receive the grant funds and they were rejected by some of the commission board. A special meeting was called and they came back to proceed with approving the requests. A strategy session was held to look at main objectives for next year. Commissioners felt they should implement a vehicle

DRAFT UNAPPROVED

inventory replacement policy. There has been a lot of vehicle requests coming in. He suggested having a pool car instead of everyone having their own vehicle. Looking at streamlining building permits and inspections for construction. It was suggested to have a consultant with recommendations on how to accomplish this. Still working on ideas on how to improve the jail.

F. SPECIAL PRESENTATIONS: None

G. CONSENT CALENDAR:

1. RECEIVE AND FILE:

- a. Treasurer's Report**
- b. Clerk's Revenue/Expenditure Report and Balance Sheet**
 - Draft Unapproved meeting minutes**
 - 1. Planning Commission 05/13/19**

2. APPROVAL:

- 1. Accounts Payable Prepaid of \$376,280.00 and Current to be approved of \$27,667.38 (Recommend approval: Clerk, C. Dye)**

Motion by Nelson to approve the Consent Calendar as presented, supported by White. Roll Call motion carried unanimously.

H. ITEMS REMOVED FROM THE CONSENT CALENDAR: None

I. CORRESPONDENCE:

- 1. Update on Township Farmland Preservation Program**

J. PUBLIC HEARING: Acme Township General Appropriations Act Fiscal Year 2019-20 Annual Budget Hearing – Opened at 7:29 pm

Zollinger informed in the budget the revenue is \$925,429 with expenditures at \$919,644 which leaves an unsigned \$5,785 in the 101 Fund, everything else has been assigned an amount.

Brian Kelley, Acme resident (Submitted written comments to be added to packet)

Gordie LaPointe, Acme Township, asked if the township was still getting the funding from the conservatory for the maintenance of the parks and was in the budget? Zollinger said they were and it was in the budget under endowment.

1. Resolution #R-2019-18 Township Supervisor Salary

Motion by Jenema to approve Resolution #R-2019-18 for 2019-20, \$40,000 Supervisor salary, supported by Aukerman. Roll Call motion carried by 6 (Dye, Nelson, White, Aukerman, Jenema, Scott), abstained by Zollinger.

2 Resolution #R-2019-19 Extra Duties- Supervisor

Motion by Nelson to approve \$5,000 to Supervisor for the budget year with the change in the Stipends chart using percentages of 40% for Active Representation, 42% for Active Management and 18% for Active Oversight instead of hours and adding Office Receptionist under Supervise three direct reports instead of two, supported by Scott. Roll Call motion carried by 6 (Dye, Nelson, White, Aukerman, Jenema, Scott), abstained by Zollinger.

3. Resolution #R-2019-20 Township Clerk Salary

Motion by Jenema to accept Resolution #R-2019-20 for 2019-2020, \$41,508 Township Clerk salary, supported by Scott. Roll Call motion carried by 6 (Zollinger, Nelson, White, Aukerman, Jenema, Scott), abstained by Dye.

4. Resolution #R-2019-21 Extra Duties – Clerk

Motion by Aukerman to approve \$1,500 to Clerk for the budget year with the change in the Stipends chart using percentages of 66% for FOIA Coordinator, removing the cemetery duties, 17% for Notary and 17% for Employee and/or Sub Contractor Reports instead of hours, supported by Scott. Roll Call motion carried by 6 (Zollinger, Nelson, White, Aukerman, Jenema, Scott), abstained by Dye.

5. Resolution #R-2019-22 Township Treasurer Salary

Motion by White to approve \$25,159 Township Treasurer salary for 2019-2020, supported by Nelson. Roll Call motion carried by 6 (Zollinger, Nelson, White, Aukerman, Dye, Scott), abstained by Jenema.

6. Resolution #R-2019-23 Township Trustees Salary

Motion by Jenema to approve Resolution #R-2019-23 of \$7,200 salary and \$50/meeting per diem for additional meetings, where the board has requested their attendance, supported by Dye. Roll Call motion carried unanimously.

7. Acme Township General Appropriations Act 2019-20 Resolution #R-2019-24

Zollinger informed the date should read 2019 and amount added to page 3 of \$1,500 to Township Board Expenditures for Supervisor extra duties giving a line total of \$921,144. He will revise the document to show the changes.

Motion by Jenema to approve the Appropriations Act 2018-19 Resolution #R-2019-24 with corrections of the publication date to be 2019 noted in the publication, amount added to page 3 of \$1,500 to Township Board Expenditures for Supervisor extra duties giving a line total of \$921,144, supported by Scott. Roll Call motion carried unanimously

K. NEW BUSINESS:

1. Acme Sewer directions for growth

The bill was received from Elmer's on the emergency sewer repair and it came under the \$30,000 that was approved for the project. Looking at the township's sewer capacity for a long-range view. Growth in the township has the sewer going to East Bay and is now out of balance. Additional work would need to be done to change that. The pump station 1 at Bunker Hill needs to be repaired and could reduce money sent to East Bay. Would like to have a study done by Gosling Czubak to see if costs could be reduced to the township.

2. Resolution #R-2019-25 for Budget 750 Maintenance Fund.

Motion by White to move funds from 101 Contingency to 101 Parks Maintenance Fund, supported by Dye. Motion carried unanimously.

3. Modify Address on Previous Resolutions for #R-2019-13 and #R-2019-14 for Kroupa Farms LLC

Motion by Nelson on Resolution #R-2019-13 to modify the address for Kroupa Farms LLC for on-premise tasting room permit, supported by Jenema. Motion carried unanimously.

Motion by Nelson on Resolution #R-2019-14 to modify the address for Nomad Cidery, LLC, for on-premise tasting room permit, supported by Aukerman. Motion carried unanimously.

4. Resolution #R-2019-26 for Declaration Notice Acme Bayside Park

Motion by Scott to approve Resolution #R-2019-26 for Declaration Notice Acme Bayside Park,

supported by Aukerman. Motion carried unanimously.

L. OLD BUSINESS:

1. Acme Final approval Metro fire - Articles of Incorporation updates

Zollinger explained this is from the Metro negotiations where each township needs to approve the articles of Incorporation, to show all three townships in the Metro unit have had them approved at their board level.

Motion by Nelson to approve the signatures for the Articles of Incorporation of the Grand Traverse Metro Emergency Services Authority, supported by White. Motion carried unanimously.

PUBLIC COMMENT & OTHER BUSINESS THAT MAY COME BEFORE THE BOARD: None

ADJOURN: Meeting adjourned at 8:38 pm



ACME TOWNSHIP PARKS & TRAILS MEETING
ACME TOWNSHIP HALL
Bunker Hill Road, Williamsburg MI 49690
(former Acme Laundromat)
June 21, 2019 8:30 a.m.

ROLL CALL:

Committee:

x	Heflin	x	Heffner	x	Jenema
x	Smith	x	Timmins	x	Wentzloff
Excused	Kushman	x	Lamott		
x	Wolf	x	Donn		

Advisory:

Staff:

A. PUBLIC COMMENT: None

B. APPROVAL OF AGENDA: Motion by Heflin to approve the agenda as presented, seconded by Heffner. Motion carries.

C. INQUIRY AS TO CONFLICTS OF INTEREST: None

D. CORRESPONDENCE:

1. Email dated June 18 from Heffner on TART Trail meeting in Elk Rapids June 17
2. Email dated June 20 from Heffner on Art in the Park

Heffner visited Grand Junction, CO and gave photos of their downtown area that had interactive art for kids to play on. He felt it was a good example to do something like this for Bayside Park.

E. ACTION:

1. Approve Draft Parks & Trails Minutes 05.17.19. Motion by Heffner to approve the minutes from 05.17.19, seconded by Heflin. Motion carries.

F. OLD BUSINESS:

1. Trail Updates

a. Michigan Natural Resources Trust Fund Grant Walk Through

Jenema informed they are waiting to hear on the Acme connector Trust Fund. She with others from the township met with Tamara Jorkasky, Grant Coordinator with Michigan Department of Natural Resources, to show her the highlights of the trail from Bunker Hill, Mount Hope Road, connecting in by Meijer, and where it leads in from Traverse City continuing north. Heflin explained it is good to show these areas since trust funds are rated by sections and given scoring points for the application. Jenema stated they would like to get two letters showing support for the trails, one from the tribe and another from Meijer to help with the scoring. Wolf will work on getting these letters.

b. Tribal 2% Grant Application

Jenema mentioned the application for the Tribal 2% Grant was submitted and they are waiting on the results.

2. Adoption Program Swing (Still waiting on ordering from Weeks on second swing)

Jenema said the board gave approval to purchase the two swings, they are waiting to hear from Linda Weeks on the donation for the second one. At this time the swings have not yet been ordered.

3. Park System Signage (Ryan to Get Bids)

Information on the signs was given to Lamott to receive bids. The committee agreed on the type of sign and those needed. A large sign with the park name, one with abbreviated park rules, and for the cemeteries.

4. Art In The Park – Locations

Smith said he would like to put together a subcommittee and asked for names of potential artists and someone who knows grant writing that might be interested in joining. He said they would need to research options of funding to purchase large pieces of art. Some of the art may be permanently added to the park and others could rotate being replaced with different pieces.

The committee discussed places near the playground to place the art and a few visual pieces by the highway for those driving by to see. Candidates for the subcommittee were suggested and will be contacted to see if they are interested.

G. NEW BUSINESS:

1. Trail Branding TART: Acme-Charlevoix

Heffner attended the TART Trail meeting in Elk Rapids on Monday, June 17. The branding consultants and TART team narrowed down the names for the trail to four: Migizi, which means eagle in Odawa, Nakwema, “to join a path” in Odawa, Drumlin Path referring to glacial features, and the Voyager Pathway, for the French voyageurs. The preferred name from the group’s comments was Nakwema. Remainder of the meeting was discussing the preliminary engineering plans for the Acme to the south end of Elk Rapids portion of the trail developed by Prein & Newhof.

Wentzloff suggested the name ACTIVE Trail, standing for Acme Connector Trail and that it will be used to keep people active.

H. PUBLIC COMMENT:

Heffner informed funding has been committed to begin trail planning at Fisherman’s Island State Park in Charlevoix to tie in. The Village of Elk Rapids link on the TART trail is not up to date with Bayside Park information, the first page is wrong.

Jenema stated Ryan Lamott will now be attending the Parks and Trails meetings. He does the maintenance for the parks. Any projects for the parks need to be budgeted in the Capital Improvement Plan to be presented to the township board.

ADJOURN: Motion by Wentzloff to adjourn, seconded by Smith. Meeting adjourned at 9:42 am



**ACME TOWNSHIP PLANNING COMMISSION MEETING
ACME TOWNSHIP HALL
5320 US-31 N, Williamsburg MI 49690
(Former Acme Laundromat at US-31 & Bunker Hill Rd)
May 13th, 2019 7:00 p.m.**

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:02 PM

ROLL CALL: Members present: K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

Members excused: M. Timmins

Staff present: S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

A. LIMITED PUBLIC COMMENT: None

B. APPROVAL OF AGENDA:

Motion by Feringa to approve the agenda as presented, supported by Rosa. Motion carried unanimously.

C. INQUIRY AS TO CONFLICTS OF INTEREST: None

D. SPECIAL PRESENTATIONS: None

E. CONSENT CALENDAR:

1. RECEIVE AND FILE

- a.** Township Board Draft Regular Meeting Minutes 04.02.19
- b.** Township Board Draft Special Meeting Minutes 04.11.19
- c.** Township Board Draft Special Meeting Minutes 04.29.19

2. ACTION:

- a.** Approve Draft Planning Commission Meeting Minutes 04.08.19

Motion by Balentine to approve the Consent Calendar as presented, supported by VanHouten. Motion carried unanimously.

F. ITEMS REMOVED FROM THE CONSENT CALENDAR: None

G. CORRESPONDENCE: None

H. PUBLIC HEARINGS: None

I. OLD BUSINESS:

1. Master Plan Public Comment Update

Winter stated the Township has received two public comments related to the draft Community Master Plan. The first is from Paul Thwing from TCAPS concerning the future status of the former Bertha Vos School facility, currently they don't have a definite plan for its future use.

The second is regarding a parcel east of Bartlett Rd, south of a county-owned recreational parcel at the corner of Bunker Hill Rd and Bartlett Rd, and north of the county-owned parcel where the VASA Trailhead is located. The property is currently zoned R-3 Urban Residential. Given the recreational uses of the lands surrounding the property, the draft Community Master Plan has proposed changing the future land use category on this property from "Residential – Urban" to "Conservation / Recreation". This creates a continuous zone of "Conservation / Recreation"

future land use with the previously existing on the northside of Bunker Hill Rd. The future land use classification does not constitute a zoning change. Winter and the Supervisor met with the property owner to discuss his concerns and it will be talked about at the public hearing next month.

2. Zoning Ordinance Amendment 050 – Planned Development

Winter has asked to change the scheduled May public hearing for the proposed zoning ordinance to the June 10 Planning Commission meeting.

Motion by Feringa to set a public hearing for June 10, 2019 to consider recommending approval of Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights, supported by Balentine. Motion carried unanimously.

J. NEW BUSINESS:

1. SPR 2019-04 – Sky mint Medical Marihuana Provisioning Center (PZR 2019-07)

Winter informed an application has been received to construct a medical marihuana provisioning center at 6140 N Arnold Rd. This is a use allowed by right in the B-4: Material Processing and Warehousing District. The Applicant does possess a local license for the facility type at this location. Stephanie Space, the architect and Will Mitchell with Bob Mitchell & Associates PC, were in attendance for any questions.

The proposal includes the construction of a 3,456 sq. ft facility on a vacant piece of land located behind the Tractor Supply Company. Most of the zoning ordinance standards have been met, with exceptions related to landscaping, exterior lighting and storm water management. None of the outstanding items are determined by staff to be substantial enough to prevent approval but can be required to be rectified prior to issuing a land use permit.

Motion by Feringa to approve Site Plan Review application SPR 2019-04, submitted by Bob Mitchell and Associates P.C., on behalf of Green Peak Innovations dba Sky mint, to construct and operate an approximately 3,456 square foot licensed medical marihuana provisioning center located at 6140 N Arnold Rd, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit:

- 1. Revise the landscape plan to meet the native, non-invasive plant species, treed island, and right-of-way screening requirements of the Zoning Ordinance and as outlined in Planning & Zoning Report 2019-07, and to be approved by the Planning & Zoning Administrator and/or Township officials.**
- 2. Submit a completion bond, cash deposit, letter of credit, or certified check in the amount of the approved landscape plan as determined by a professional landscaper.**
- 3. Remove the wall pack lighting on the south and north facades of the building;**
- 4. All exterior lighting shall be shut off outside the hours of operation once the staff is no longer present except for the wall packs on the east façade, and one soffit light above the south entry and one soffit light above the west exit.**
- 5. Pending on the MDOT permit for the storm water discharge within the railroad right-a-way.**
- 6. The final set of site plan drawings be updated to reflect the applicable conditions, stamped by a licensed engineer, architect, or landscape architect, and signed by the Planning Commission Chair and Applicant. Supported by Rosa. Motion carried unanimously.**

K. PUBLIC COMMENT & OTHER PC BUSINESS

Public comment opened at 7:27 pm

Jim Heffner, 4050 Bayberry Lane

Public comment closed at 7:33 pm

1. **Planning & Zoning Administrator Report – Shawn Winter**

There will be a special Planning Commission meeting held on Tuesday, May 21, 2019 at 7:00 pm for a SUP minor amendment and site plan review for modifications at Flintfields Horse Park. Two other site plan reviews for provisioning centers in the B-4 district are in the works. They intend to be on the June 10, 2019 agenda. There has been no additional movement on the RV Park project to date. Bayside Park Opening Ceremony will be held on Saturday, May 18, 2019 from 12:30 – 1:30 pm. The net climber playground structure has been installed. On June 10 there will be two public hearings one for the rescheduled zoning ordinance amendment and the other for adopting the Master Plan.

2. **Township Board Report:** White reported the board is doing a budget review.

3. **Parks & Trails Committee Report:** Winter informed the initial review was received for the DNR Trust Fund Grant for the trail with a few items to be completed by May 15. The MDOT rail is needed by October and is being worked on. A 2% grant for trail amenities will be submitted this month.

ADJOURN: Motion to adjourn by Feringa, supported by Balentine. Meeting adjourned at 7:42 pm



ACME TOWNSHIP PLANNING COMMISSION MEETING
ACME TOWNSHIP HALL
3593 Bunker Hill Rd, Williamsburg MI 49690
(Former Acme Laundromat at US-31 & Bunker Hill Rd)
May 21st, 2019 7:00 p.m.

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 PM

ROLL CALL: Members present: K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

Members excused: M. Timmins

Staff present: S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

A. LIMITED PUBLIC COMMENT: Open at 7:01 pm

Brian Kelley, 4893 Ridge Crest (Submitted written comments to be added to packet)

Richard Rudlaff, 12701 Mastique Beach Blvd., Fort Myers, FL., voiced his concerns regarding the RV Park expansion and stormwater runoff.

Limited Public Comment closed at 7:07 pm

B. APPROVAL OF AGENDA:

Motion by Feringa to approve agenda as presented, supported by White. Motion carried unanimously.

C. INQUIRY AS TO CONFLICTS OF INTEREST: None

D. SPECIAL PRESENTATIONS: None

E. CONSENT CALENDAR:

- 1. RECEIVE AND FILE:** none
- 2. ACTION:** none

F. ITEMS REMOVED FROM THE CONSENT CALENDAR: None

G. CORRESPONDENCE: None

H. PUBLIC HEARINGS: None

I. OLD BUSINESS: None

J. NEW BUSINESS:

1. SUP 2019-01 Minor Amendment for Flintfields Horse Park (PZR 2019-08)

Winter explained this is an application from Flintfield for a minor amendment to a special use permit to shift two existing show rings and adding an adjacent warmup ring. The shift would cause the rings to encroach into the existing drainage basin for the property, so this calls for refiguring and enlarging the basin. Additionally, it is for a new pavilion to be approved under the standards of the Zoning Ordinance. The Pavilion had been constructed without prior approval. Gosling-Czubak has reviewed the proposed changes to the previously approved use, to include the reconfiguring of the arena layout and verified the plans are consistent with modifications of adding 8,778 cubic feet to the stormwater basin to increase to 20,095 cubic feet. A Soil Erosion and Sedimentation Control Permit has been submitted and reviewed. There is correspondence from Grand Traverse Metro Fire Department that they have received a copy of the site plans for

review and are also working on emergency access for areas around the site with Dusty Christensen from Mansfield Land Use Consultants in Traverse City, a consultant for the horse show. Winter suggested the horse show do a master plan of future uses and any changes that will be done.

Motion by Balentine to approve Special Use Permit minor amendment application SUP 2019-01, submitted by Mansfield Land Use Consultants, on behalf of Traverse City Horseshows LLC, to shift two existing show rings, construct a warmup ring adjacent, to add a pavilion over an existing spectator viewing area, and to reconstruct the storm water drainage basin as necessary and indicated on the submitted site plans, for the Great Lakes Equestrian Festival operated at Flintfields Horse Park, 6535 Bates Rd, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit: Submit approval of the site plan by the Grand Traverse Metro Fire Department, and the final set of site plan drawings be updated to reflect the applicable conditions, stamped by a licensed engineer, architect, or landscape architect, and signed by the Planning Commission Chair and Applicant, supported by White. Motion carried unanimously.

K. PUBLIC COMMENT & OTHER PC BUSINESS: Opened at 7:35 pm
Brian Kelley, 4893 Ridge Crest
Public Comment closed at 7:38 pm

- 1. Planning & Zoning Administrator Report – Shawn Winter**
Winter reported Lindsey Wolf will be the new Planning & Zoning Administrator and is starting June 17. She has a background in zoning and planning.
- 2. Township Board Report – Doug White: No report**
- 3. Parks & Trails Committee Report:** Wentzloff reported the Bayside Park dedication was held and it was announced Iron Belle Trail Fund pledged to match half of what is needed for the Tart Trail if the DNR Trust Fund Grant is received. Winter informed the board approved and signed the application for the Tribal 2% Grant for estimated \$39,000 to go towards trails amenities.

ADJOURN: Motion by Balentine to adjourn, seconded by VanHouten. Meeting adjourned at 7:42 pm



ACME TOWNSHIP PLANNING COMMISSION MEETING
ACME TOWNSHIP HALL
3593 Bunker Hill Rd, Williamsburg MI 49690
(Former Acme Laundromat at US-31 & Bunker Hill Rd)
June 10th, 2019 7:00 p.m.

CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 PM

ROLL CALL: Members present: K. Wentzloff (Chair), D. Rosa, D. VanHouten, B. Balentine, D. White
Members excused: S. Feringa, M. Timmins
Staff present: L. Wolf, Planning & Zoning Administrator, S. Winter, Planner, Beckett & Raeder, J. Jocks, Legal Counsel, V. Donn, Recording Secretary

A. LIMITED PUBLIC COMMENT: Open at 7:02 pm

Jim Heffner, 4050 Bayberry Lane, voiced his concerns on the Steffey property

Brian Kelley, Acme Resident (Submitted written comments to be added to packet)

Limited Public Comment closed at 7:06 pm

B APPROVAL OF AGENDA:

Motion by White to approve agenda as presented, supported by Balentine. Motion carried unanimously.

C INQUIRY AS TO CONFLICTS OF INTEREST: None

D. SPECIAL PRESENTATIONS: None

E. CONSENT CALENDAR:

1. RECEIVE AND FILE

- a.** Township Board Draft Regular Meeting Minutes 05.14.19
- b.** Parks & Trails Committee Draft Meeting Minutes 05.17.19

2. ACTION:

- a.** Approve Draft Planning Commission Meeting Minutes 05.13.19
- b.** Approve Draft Special Planning Commission Meeting Minutes 05.21.19

Brian Kelley requested to have 2. ACTION: a. Approve Draft Planning Commission Meeting Minutes 05.13.19 and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19 removed from the consent calendar.

Motion by Balentine to approve Receive and File, a. Township Board Draft Regular Meeting Minutes 05.14.19 and b. Parks & Trails Committee Draft Meeting Minutes 05.17.19 as presented, supported by White. Motion carried unanimously.

F. ITEMS REMOVED FROM THE CONSENT CALENDAR

- 2. ACTION:** a. Approve Draft Planning Commission Meeting Minutes 05.13.19
and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19

Brian Kelley had concerns with the comments not entered in the minutes by attendees in the Public Comments, only their name and address were added.

Winter explained this was a change made at the last meeting to have only the name and address and no comment unless it is a public hearing. After a brief discussion, it was decided to postpone further

decisions on adding comments and put it on the agenda for the next PC meeting.

G. CORRESPONDENCE:

1. Matt Vermetten – Pezzetti, Vermetten & Popovits, PC: Dr. David Steffey's Property
2. Brian Kelley – Draft Master Plan

H. PUBLIC HEARINGS: Open at 7:18 pm

1. **Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10) – No Comments**
2. **DRAFT Community Master Plan 2019 (PZR 2019-13): Open at 7:19**

Brian Kelley, Acme resident, said the letter under correspondence is for the 63-day comments on the master plan. He has concerns on the future land use map as with the Steffey property and on the high density throughout the master plan. In the survey people were opposed to high density in Acme as well as public water due to the expense.

Jim Heffner, 4050 Bayberry Lane, voice on the Steffey property being changed from urban residential to recreational. He feels Mr. Steffey should have the right to use his property in a way as he purchased it. He is also concerned with any development of the property on the wetlands.

Closed at 7:24 pm

I. OLD BUSINESS:

1. **Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10)**

Winter explained this is eliminating the sending zone to the sending zone density transfer option.

Motion by Rosa to recommend approval to the Township Board the adoption of Zoning Ordinance Amendment 050: Planned Development – Transfer of Development rights as presented, supported by Balentine. Motion carried unanimously.

2. **DRAFT Community Master Plan 2019 (PZR 2019-13)**

Winter informed the draft is to send to the board for adoption. A letter from Paul Thwing, Director of Capital Projects & Planning for TCAPS, stated they are maintaining the building and grounds for Bertha Vos School, but have no definite plan for its future use. Winter noted on the letter sent from David Steffey regarding his property's category had been changed in the master plan. Winter clarified the future land use categories does not change the zoning of the property. If the planning commission master plan is adopted with the proposed land use categories, the Steffey property will have the same zoning, it will not be changed. He also added there was a comment made at the March meeting by Mr. Pulciper on his property on the west of US-31 surrounded on three sides as resort residential owned by Lochenheath, Mr. Pulciper questioned the agricultural liability of his property and the census of the PC was to change his west side of US-31 property to resort residential and revise the map to show this change.

The Planning Commission went over the revisions sent from Brian Kelley. For the Web/Televised Township meetings, the language on page 37 needs to be changed to read; the following initiatives had the strongest opposition, instead of were not supported. Locally owned needs to be added to the word retail in the text on page 38. Under Pubic Facilities on page 57, the Township Hall priorities needs to keep the wording as is since the current renovation is to make the environment workable, but the township hall still needs more space for both operations.

Wentzloff noted on the Steffey property the township's description for Urban Residential is as follows; "Encourage the development of quality, high-density residential living and affordable living that will minimize the encroachment of such development on farms, forests, and environmentally sensitive areas". The zoning has not changed for his property. Also, public water

is necessary for economic development in the community for commercial growth and residential areas.

Winter replace Figure 20, Future Land Use map on page 65 of the Draft Acme Township Community Master Plan (2019) with the edited Future Land Use Map updated April 18, 2019.

Motion by Rosa to adopt the resolution adopting the Acme Township Community Master Plan for 2019, supported by Balentine. Roll call motion carried unanimously.

J. NEW BUSINESS:

1. **Zoning Ordinance Amendment 051 – “Childcare Center” Text Amendment (PZR 2019-12)**
Winter explained there is a party interested in using the property at 5700 US-31 N. for childcare center/pre-school. The current property owner is interested in leasing to them. They chose to add an amendment to add childcare organizations to the Zoning Ordinance for the PC to consider.

Motion by White to set a public hearing at the July 8, 2019 Planning Commission meeting to consider the adoption of Zoning Ordinance Amendment 051 to add “Child Care Organizations” as a use allowed by right to the C: Corridor Commercial District and Corridor Flex under Section 6.6.4.1 Regulation Uses, supported by Balentine. Motion carried unanimously.

2. **SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center (PZR 2019-09)**
Chris Biggers, architect for Bigg Architecture, presented an overview of the project. Winter summarized a long list of conditions that must be met prior to issuing a land use permit. It was decided by the commissioners to have these conditions met and for him to come back to the next PC meeting for review.
3. **SPR 2019-06 – GR Hydro TC Retail and Wholesale Garden Center (PZR 2019-11)**
Winter informed the applicant is proposing to reuse an existing vacant building at 5549 Bates Rd. for a 17,600 sq. ft. retail and wholesale garden supply center. The building was previously approved under a special use permit to be the home of the Traverse City Bulldogs Athletic Association. Since the applicant is proposing to occupy an existing vacant building with no improvements to the site or expansion of the facility, there is no need to force the applicant to bring the development into compliance in areas where it is now deficient. Per the Zoning Ordinance, the Planning Commission is having this application come before them to review and approve since it is a change of use to the property.

Motion by Rosa to approve site review application SPR 2019-06, submitted by Leo Grant of GR Hydro TC to occupy and operate an approximately 17,600 square foot retail and wholesale garden supply center in the existing vacant building located at 5549 S. Bates Rd, with the following condition: A revised site plan sealed by a licensed engineer shall be submitted as a full size print and pdf document, signed by the planning Commission Chair and Applicant, supported by Balentine. Motion carried unanimously.

K. PUBLIC COMMENT & OTHER PC BUSINESS: Open at 8:46 pm

Brian Kelley, Acme resident, felt Acme could televise the meetings like other townships. He requested a review of the signage ordinance and how more advanced brighter lighting is being used.

Closed at 8:49 pm

1. **Planning & Zoning Administrator Report** – Winter suggested for site plan review applicants who want to occupy an existing space where they are allowed by right and are not making exterior changes, there be some provision that allows an administrative review by staff. He thought this might be something to look at for the future.

2. **Township Board Report – Doug White:** No report
3. **Parks & Trails Committee Report:** Winter reported there was a stakeholders meeting on the tart trail for property owners on May 29.

ADJOURN: Motion to adjourn by Balentine, supported by Rosa. Meeting adjourned at 8:53 pm



Acme Township Planning & Zoning Report No. 2019-12

Prepared:	June 4, 2019; Revised 7/2/2019	Pages:	3
Meeting:	June 10, 2019; July 8, 2019	Attachments:	Yes
Subject:	Zoning Ordinance Amendment 051		

Application No.: Zoning Ordinance Amendment 051

Request: Child Care Centers as an allowable use in the C: Corridor Commercial District & C

Applicant: Elizabeth Reid, McKinley & Cramer Properties LLC

I. OVERVIEW

A discussion was had and motion was made at the June 10, 2019 Planning Commission meeting to expand the proposed amendment language to consider as a use allowed by right to the C: Commercial Corridor District as well as the CF: Corridor Flexible District: **Motion by White to set a public hearing at the July 8, 2019 Planning Commission meeting to consider the adoption of Zoning Ordinance Amendment 051 to add “Child Care Organizations” as a use allowed by right to the C: Corridor Commercial District and Corridor Flex under Section 6.6.4.1 Regulation Uses, supported by Balentine. Motion carried unanimously.**

A public hearing was set and scheduled for the July 8, 2019 Planning Commission meeting to consider Zoning Ordinance Amendment 051: Child care centers. A public hearing notice was published in the Record Eagle on June 23, 2019 and posted on the township website.

The draft table in Section 6.6.4.1 Regulated Uses has been amended to show child care centers as a use by right in the C: Commercial Corridor and CF: Commercial Flexible Districts. The definition of Child Care Centers in Section 3.2 has been amended to read Child Care Center: A facility for the care of children, as defined by MCL 722.111(~~1~~)a) (see attached documents).

Background:

The Applicant’s party operates a series of child care centers in the Grand Traverse region. They have been looking to expand their operations to include the east side of Traverse City, specifically Acme Township, and found a property that may fit their needs at 5700 US-31 N. The property is currently zoned C: Corridor Commercial which does not list it as an allowable use by right, or with a special use permit. In fact, the use is not listed at all in the US-31/M-72 Business District which includes the C: Corridor Commercial District. Child Care Centers are allowed through a special use permit as an institutional use in the Agricultural and Residential Districts. Other similar institutional uses are allowed in the C: Corridor Commercial by right including public parks, churches with and without assembly halls, and public and private schools.

A Zoning Administrator Determination (PZR 2019-05) was performed when the Applicant initially inquired about the use in the district and has been included for reference. It includes the definition used by the Zoning Ordinance for child care organizations, the reasons why it is not currently allowed, and the uses that are allowed in the district.

The Applicant has submitted a narrative indicating that their operation intends to care for approximately sixteen (16) infants thirty four (34) preschool aged students. The intensity of this use and the age of the children meets the definition of a child care organization and is much more commercial in nature than a family child care home which is allowed by right in the residential districts. A family child care home is defined by the Child Care Organization Act (MCL 722.111) as follows:

"Family child care home" means a private home in which 1 but fewer than 7 minor children are received for care and supervision for compensation for periods of less than 24 hours a day, unattended by a parent or legal guardian, except children related to an adult member of the household by blood, marriage, or adoption. Family child care home includes a home in which care is given to an unrelated minor child for more than 4 weeks during a calendar year. A family child care home does not include an individual providing babysitting services for another individual. As used in this subparagraph, "providing babysitting services" means caring for a child on behalf of the child's parent or guardian when the annual compensation for providing those services does not equal or exceed \$600.00 or an amount that would according to the internal revenue code of 1986 obligate the child's parent or guardian to provide a form 1099-MISC to the individual for compensation paid during the calendar year for those services.

The difference in intensity and the fact that they can occur in a private home is why family child care homes are allowed in residential districts.

The use requested in the text amendment is consistent with the district's intent and purpose, which states:

To provide for a traditional commercial district that promotes mixed use, walkability and transit options, and takes advantage of its location to East Bay.

Acme Township Zoning Ordinance, Section 6.6.3, p. 35

Including uses that people need as part of their day to day lives is a key component in creating the prescribed mixed use, walkable development pattern that supports public transit.

II. Findings of Fact

- a) Child Care Organizations, although typically an institutional use, operate at an intensity that is similar to commercial uses.
- b) Numerous commercial uses are allowed by right and by special use permit in the C: Corridor Commercial District.
- c) Institutional uses are allowed by right in the C: Corridor Commercial District, including public and private schools, and churches. Often times these institutional uses operate at a similar if not greater intensity than most child care organizations.
- d) Child care organizations are consistent with the intent and purpose of the C: Corridor Commercial District.
- e) Many institutional uses including schools and churches offer care services for children younger than school age, which would qualify that part of their operation as a child care organization.

III. Considerations

I want to stress, if the Township Board adopts an amendment to add child care organizations to the list of allowable uses in the Commercial and Corridor Flex Districts upon the recommendation of the Planning Commission, the Applicant will still need to seek a site plan approval permit approval. Adding the use to the list of allowed uses in the districts does not guarantee an approval at this location, or any specific location. All applicable Zoning Ordinance standards will need to be met.

Suggested Motion for Consideration

Motion to recommend the Board adopt Zoning Ordinance Amendment 051 Child Care Centers as a use by right in the C: Corridor Commercial and CF: Corridor Flex Districts, as presented in the draft table in Section 6.6.4.1 Regulated Uses, and to change the definition of Child Care Centers in Section 3.2 to read Child Care Center: A facility for the care of children, as defined by MCL 722.111.

Section 6.6.4

LAND USE TABLE

6.6.4.1 Regulated Uses

Regulated uses are identified for each ZONE either as a Permitted Uses (P) or a use requiring a Special Use Permit (SUP). If a use is blank with no designation or not listed it means it is not permitted in that zone. All uses requiring a Special Use Permit must address the General Standards listed in Section 6.6.3.3. If the SUP has additional standards over and above the General Standards the special provision column references that specific section of the Zoning Ordinance. All new projects, including those requiring a Special Use Permit (SUP), must adhere to the regulations of Section 6.6.5 Lot and Building Placement and Section 6.6.6 Special Provisions.

Land Use Table					
Type	SFN	MHN	CS	C	CF
Residential					
Single Family	P	P	P		
Single Family Condominium Subdivisions		P			
Live / Work Unit		P		P	P
Open Space Preservation Development		P			
Duplex	P	P	P		
Multiple Family		P	SUP	P	P
Home Occupation 1	P	P	P	P	P
Home Occupation 2 or More Persons	SUP (7.7)	SUP (7.7)	SUP (7.7)		
Bed and Breakfast (5 Bedroom Maximum)	SUP (9.24)	SUP (9.24)	SUP (9.24)		
Tourist Homes ¹	P	P	P	P	P
Vacation Homes ^{2 3}				P	P
Residential - Services					
Nursing Home	SUP	P			
Adult Day Care Center	SUP	SUP	SUP		
Assisted Living Group Facilities	SUP	P	SUP		
State Licensed Residential	SUP	SUP	SUP		
Group Child Care Home	SUP	SUP	SUP		
Public and Private					
Marinas (Public or Private)			SUP		
Outdoor Public Owned Parks and Recreation Facilities	P	P	P	P	P
Public and Private Schools	P	P	P	P	P
Public Uses: Critical, Supporting and Essential	P	P	P	P	P
Churches with and without Assembly Halls		P		P	P
Transportation / Utilities					
Parking (Public or Private)		P	P	P	P
Wireless Telecommunication Facilities		SUP		SUP	
Public Transit Stop or Station		P	P	P	P

- 1 All tourist home operations require a license issued by Acme Township.
- 2 All vacation home operations require a license issued by Acme Township.
- 3 Vacation homes shall only be operated in single-family dwellings.

Land Use Table					
Type	SFN	MHN	CS	C	CF
Office					
Professional Offices			P	P	P
Medical / Dental Offices				P	P
Medical Urgent Care Facilities				P	P
Veterinary Clinic			P	P	
Commercial					
Mixed Use with Residential above the 1st floor				P	P
General Retail; except with the following features				P	P
a. Alcoholic beverages				SUP	SUP
b. Floor area over 10,000 sq.ft.				SUP	SUP
c. On-site production of items sold in or out of store locations				SUP	SUP
d. Operating hours between 10pm and 7am				SUP	SUP
Restaurant, cafe and coffee shop, bar and taverns except with the following features				P	P
a. Drive-thru facilities				SUP	
b. Drive-In facilities				SUP	
c. Outdoor Service				SUP	SUP
Micro brewery, Small Distillery, and Small Winery				P	P
Movie & Performance Theaters				SUP	P
Convenience market less than 3,500 sq.ft				P	P
Personal Services				P	P
Farmers Market				P	P
Banks and Financial; except with the following features				P	P
a. Drive-thru facilities				SUP	
Shopping Centers				SUP (9.12)	SUP (9.12)
Grocery Stores; except with the following features				P	P
a. Floor area over 10,000 sq.ft				SUP	P
b. Gasoline Service Station				SUP (9.6)	
Gasoline Service Station				SUP (9.6)	
Automotive Supply & Parts				P	
Automotive Service				SUP	
Medical Marihuana Provisioning Center ⁴				P	
Childcare Centers				P	P
Lodging					
Hotel; except with the following features				P	P
a. Greater than 120 rooms				SUP	P
b. Conference and convention facilities				SUP	SUP

4 No more than one (1) Provisioning Center may be licensed and operating at any given time, and no more than one (1) license may be issued.

TOWNSHIP OF ACME
NOTICE OF HEARING

PLEASE TAKE NOTICE that the ACME TOWNSHIP PLANNING COMMISSION will hold a public hearing at its regular meeting on Monday, July 8th, 2019 at 7:00 p.m. at the former Acme Laundromat, 3593 Bunker Hill Rd, Williamsburg MI 49690, to consider the following amendments to the Acme Township Zoning Ordinance.

Zoning Ordinance Amendment 051 – Child Care Centers in the C: Corridor Commercial District and CF: Corridor Flexible District

The proposed amendment would modify Article VI of the Acme Township Zoning Ordinance to include child care centers as a use by right permitted in the C:Corridor Commercial District and the CF: Corridor Flexible District. Section 6.6.4.1 Land Use Table will be amended to include the proposed changes.

Copies of the entire proposed Amendment 051 are available for inspection at the Acme Township hall. All interested persons are invited to attend and be heard at public hearings before the Planning Commission. After each public hearing, the Planning Commission may or may not deliberate and take action. Any recommendation from the Planning Commission will go before the Township Board for final determination. The entire Zoning Ordinance is available for inspection at the Acme Township Hall from 7:30 a.m. to 6:00 p.m. Monday through Thursday. Proposed Zoning Ordinance Amendments and the entire Zoning Ordinance are also available for inspection via the Township's website, www.acmetownship.org.

If you are planning to attend and require any special assistance, please notify Cathy Dye, Township Clerk, within 24 hours of the meeting at 938-1350.

Written comments may be directed to:

Lindsey Wolf, Planning & Zoning Administrator
6042 Acme Road, Williamsburg, MI 49690, (231) 938-1350, zoning@acmetownship.org

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231)946-2000
Fax (231)946-8273

ORDER CONFIRMATION

Salesperson: DENISE LINGERFELT

Printed at 06/17/19 14:08 by dling

Acct #: 6

Ad #: 523198

Status: New WHOLD

ACME TOWNSHIP
CATHY DYE, CLERK
6042 ACME ROAD
WILLIAMSBURG MI 49690

Start: 06/23/2019 Stop: 06/23/2019
Times Ord: 1 Times Run: ***
STDAD 3.00 X 4.10 Words: 278
Total STDAD 12.30
Class: 147 LEGALS
Rate: LEGAL Cost: 119.80
Affidavits: 1

Contact:

Phone: (231)938-1350

Fax#: (231)938-1510

Email: jzollinger@acmetownship.org

Agency:

Ad Descrpt: LEGAL NOTICE TOWNSHIP OF
Given by: EMAIL LINDSEY WOLF

P.O. #:

Created: dling 06/17/19 12:51

Last Changed: dling 06/17/19 12:57

PUB	ZONE	EDT	TP	START	INS	STOP	SMTWTFS
RE	A	97	W	Sun 06/23/19	1	Sun 06/23/19	SMTWTFS
IN	AIN	97	W	Sun 06/23/19	1	Sun 06/23/19	SMTWTFS

AUTHORIZATION

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No refunds or rebates will be issued if you cancel your ad prior to the stop date.

We appreciate your business.

(CONTINUED ON NEXT PAGE)

T. C. RECORD-EAGLE, INC.
120 WEST FRONT STREET
TRAVERSE CITY MI 49684
(231)946-2000
Fax (231)946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 06/17/19 14:08 by dling

Acct #: 6

Ad #: 523198

Status: New WHOLD WHOI

**LEGAL NOTICE
TOWNSHIP OF ACME
NOTICE OF HEARING**

PLEASE TAKE NOTICE that the ACME TOWNSHIP PLANNING COMMISSION will hold a public hearing at its regular meeting on Monday, July 8th, 2019 at 7:00 p.m. at the former Acme Laundromat, 3593 Bunker Hill Rd, Williamsburg MI 49690, to consider the following amendments to the Acme Township Zoning Ordinance.

Zoning Ordinance Amendment 051 - Child Care Centers in the C: Corridor Commercial District and CF: Corridor Flexible District

The proposed amendment would modify Article VI of the Acme Township Zoning Ordinance to include child care centers as a use by right permitted in the C:Corridor Commercial District and the CF: Corridor Flexible District. Section 6.6.4.1 Land Use Table will be amended to include the proposed changes.

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Lindsey Wolf, Planning & Zoning Administrator
6042 Acme Road, Williamsburg, MI 49690, (231) 938-1350,
zoning@acmetownship.org

June 23, 2019-1T

523198



Acme Township Planning & Zoning Report No. 2019-09

Prepared:	June 3, 2019 (Revised June 21, 2019)	Pages:	13
Meeting:	June 10, 2019 (July 8, 2019)	Attachments:	Yes
Subject:	SPR 2019-05 Redbud Roots Lab X Inc		

Application No.: SPR 2019-05

Project: Redbud Roots Lab X Inc – Medical Marihuana Provisioning Center
6669 E M-72, Williamsburg, MI 49690

Request: Site Plan Review to modify and occupy an existing structure as a licensed medical marihuana provisioning center.

Applicant: Alexander M. Leonowicz, Redbud Roots Lab X Inc
1243 W Ohio, Suite 1, Chicago, IL 60642

Owner: Property
Alex M. Leonowicz – President, 6669 E M72 LLC
215 Post Rd, Buchanan, MI 49107

Business Facility
Chris Fanta – Owner, Redbud Roots Lab X Inc
432 Otis Ave, Downers Grove, IL 60515

I. OVERVIEW

General Description and Recommendation

The Applicant is proposing to modify and occupy an existing 2,468 sq ft structure as a licensed medical marihuana provisioning center. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. The property is located off a private drive easement east of Bates Rd and on the north side of M-72, on the northside of Northwest Engine Exchange. The site is relatively flat and cleared, consisting primarily of turf.

The proposed use is consistent with the intent and purpose of the zoning district as well as the future land use category. Staff recommends approval of the site plan with consideration of the conditions mentioned in the suggested motion at the end of this report.

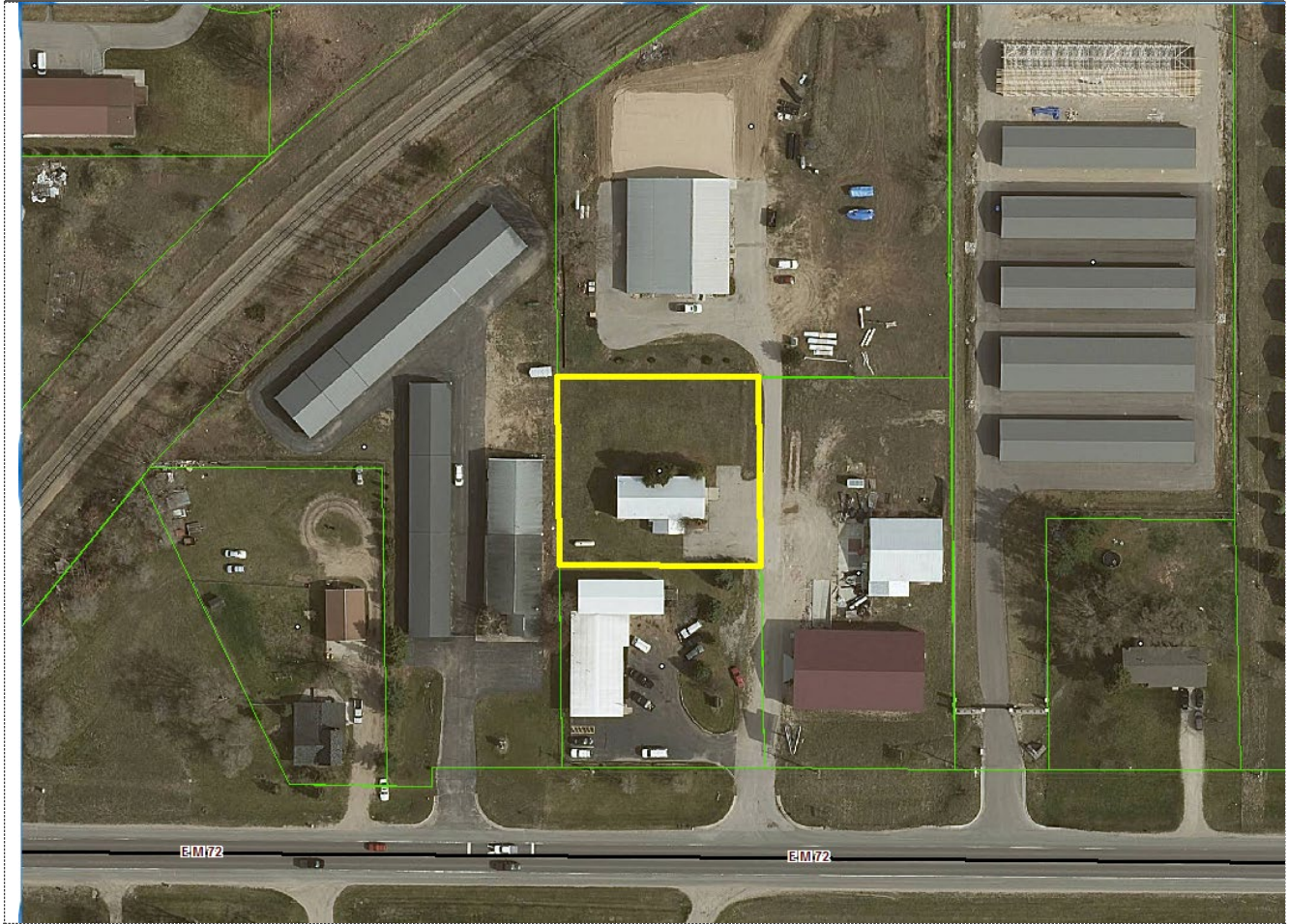
Subject Property Location

Address	Parcel Number
6669 E M-72	28-01-014-034-30

Legal Description

PART OF SW 1/4 OF SE 1/4 SEC 31 T28N R9WCOM AT A PT 794.88 FT E & 240.38 FT N OFS 1/4 COR TH N 150 FT TH E 160 FT TH S 150 FT TH W 160 FT TO POB.

Aerial Image



Existing Conditions of Subject Property

Zoning	Existing Uses
B-4: Material Processing & Warehousing	Unoccupied pole barn structure.
Area	Existing Permits / Prior Approvals
Approx. 0.55 acres	n/a

Adjacent Zoning and Land Uses

Location	Zoning	Land Use
North:	B-4	Industrial (manufacturing), Flannery Machine & Tool Inc
East:	B-4	Industrial (wholesale), Environmental Protection Products Ltd
South:	A-1	Industrial (manufacturing), Northwest Engine Exchange
West:	B-4	Industrial (storage), AAA Self Storage

Relationship to Master Plan

Future Land Use Category – Industrial

The Industrial category encompasses land use for light industrial, trade related business and warehousing enterprises in the Township. The existing uses currently are located along state highway M72 and Bates Road (an area comprising some existing development of higher density industrial and business uses). This region is seen as appropriate for the location of any future light industrial facilities that should develop with good management of signage, landscaping, utility lines, and related facilities and other possible features such as towers for cellular communication. While special areas in the Township are designated

for large-scale light industrial facilities, it is compatible with the Acme Master Plan to also encourage the development of home occupations and concomitant cottage industries in or out of this area.

The main objectives of the Industrial land use category are to provide for non-intrusive industrial operations in high density areas that stimulate the economic vitality of the Township without negatively impacting the surrounding area, and to provide employment opportunities for residents of the Township and surrounding region. Sound access management planning should be included in any new industrial developments.

The intended uses in this category include, but are not limited to: enclosed wholesale facilities, warehouses, high technology industries, light manufacturing, telecommunications industry, and other non-intrusive industrial enterprises. Land uses in the Industrial area should comport with the policies and actions of the Master Plan.

(p. 72, Acme Township Community Master Plan, adopted August 11, 2014)

II. SUBMITTED APPLICATION MATERIALS

The tables below present the items submitted with the application for the proposed project. These items have been reviewed in accordance with the processes set forth in the Zoning Ordinance

Drawings

Sheet	Title	Date (revised)
T1	Coversheet	03.30.19 (04.29.19) (06.17.19)
SP.1	Existing Conditions Plan	03.15.19
S1	Drainage Plan	04.24.19 (06.17.19)
L1	Landscape Plan	03.30.19 (04.29.19) (06.17.19)
FD1	Existing Floor Plan	03.30.19
FD2	Existing Elevations	03.30.19
A1	Site Plan	03.30.19 (06.17.19)
A2	Floor Plan	03.30.19
A4	Exterior Elevations (north & south)	03.30.19 (06.17.19)
A5	Exterior Elevations (east & west)	03.30.19
L201	Photometric Light Plan	03.27.19

Agency Reviews

Agency	Status	Permit No. (Date)
Grand Traverse County Environmental Health Department	Well and sanitary septic status review	n/a – adequate existing system
Grand Traverse County Environmental Health Department	Sedimentation and Soil Erosion Control	n/a – permit waiver submitted
Grand Traverse Metro Fire Department	Satisfactory review	P-0171-M6662 (05.22.19)
Gosling-Czubak Storm Water Plan Review	Pending	

Additional Documentation

Submitted With Application Packet

- Site Plan Review Application Form
- Project Narrative
- Escrow Policy Acknowledgement Form
- Owner Authorization

- Purchase Agreement
- Complete set of construction documents (not relevant to site plan review and not included in review packet)
- Letter indicating revisions

III. ZONING ORDINANCE REVIEW

Listed below are the applicable sections of the Zoning Ordinance that pertain to the proposed project. Items that do not satisfy the standards required by the Zoning Ordinance have been indicated with **bold, red text**.

Zoning District	
§ 6.11	B-4: Material Processing & Warehousing District
§ 6.11.1	<p>Intent and Purpose</p> <p>This district is intended to accommodate those industrial uses, warehousing and storage, and related activities that generate a minimum of noise, glare, odors, dust, vibration, air and water pollution, fire and safety hazards, or any other potentially harmful or nuisance characteristics. It is designed to accommodate wholesale, warehouse, agricultural sales and service related businesses and light industrial activities whose operational and physical characteristics do not detrimentally affect any of the surrounding district.</p>
§ 6.11.2	<p>Uses Permitted By Right</p> <p>i. Medical Marihuana Facilities</p> <p>iv. Medical Marihuana Provisioning Center. By right, but that no more than three (3) may be licensed and operating at a given time, and no more than three (3) licenses may be issued.</p> <p><i>Note: The proposed use meets the intent and purpose of the district and is use allowed by right. Redbud Roots Lab X Inc currently holds provisioning center licenses in the B-4 District.</i></p>

§ 6.13.1 Schedule Limiting Height, Bulk, Density and Area by Zoning District		
Standard	Requirement	Site Plan
Minimum Lot Size	n/a	Approx. 0.55 acres
Minimum Parcel Width	150 ft	150 ft
Maximum Height	3 stories / 40 ft	1 story / 17.65 ft
Front Setback	40 ft	42 ft
Side Setback	15 ft	80 ft (north); 20 ft (south)
Rear Setback	16 ft	23 ft
Maximum Lot Coverage	n/a	6,053 sf

§ 7.1.1 Sanitation Requirements		
Standard	Requirement	Site Plan
Meet GT County Environmental Health Department Ordinance [§7.1.1(a)]	Adequate system approved by Grand Traverse County Department of Environmental Health	Existing Type III well and 1,250 Dbl septic system reviewed and deemed adequate by agency

§ 7.4 Signs		
Standard	Requirement	Site Plan
Regulations By Zone – Agricultural District [§7.4.6(d)]	Various – will be reviewed separately. Site plan review approval does not authorize any proposed signage.	Elevations show two (2) wall signs on the south & east façades. There is also a proposed stature and flag sign to be discussed by the Planning Commission. Sign standards will be reviewed upon receipt of a sign permit application.

§ 7.5 Off-Street Parking and Loading Regulations		
Standard	Requirement	Site Plan
Parking Required [§7.5.1(b)]	On the same lot or within 300 ft	Parking provided on site
Parking Space Requirements [§7.5.3(c)(14)]	Min. – 3 spaces Max. – 13 spaces	8 total spaces – 7 regular spaces; 1 ADA space
Off-Street Parking Location [§7.5.4(a)]	Located in rear and/or side yard	Existing parking located in the front, new parking located in the side yard
Maneuvering Lane & Space Dimensions [§7.5.4(b)(1)]	Lane Width (min.) – 20 ft Space Width (min.) – 9 ft Space Length (min.) – 20 ft	Lane Width – 20 ft Space Width – 9 ft Space Length – 20 ft
Parking Access Means [§7.5.4(b)(2)]	Maneuvering lanes, no backing up onto streets	Access provided through maneuvering lanes
Driveways [§7.5.4(b)(3)]	Clearly defined driveways that do not cross residentially zoned land	Existing driveway does not cross other zoning districts
Driveway Spacing [§7.5.4(b)(4)]	25 ft from parcel zoned for single-family	Surrounding properties zoned B-4,
Surface Material [§7.5.4(b)(5)]	Seal coat, blacktop or equivalent; durable, dustless surface	Asphalt parking lot surface existing and proposed
Lighting [§7.5.4(b)(6)]	Adequate parking lot lighting during operation, down- and shield-lighting	Adequate parking lot lighting provided.
Buffering, Landscaping & Screening – buffering strip [§7.5.4(c)(1)]	Parking lots screened by planting strips on all sides visible by neighboring properties	Screening provided where required
Buffering, Landscaping & Screening - plantings [§7.5.4(c)(2)]	<ul style="list-style-type: none"> a. 10 ft buffer along ROW b. 1 evergreen/canopy trees along parking ROW c. 3 ft high continuous hedge/berm/wall screen d. 6 ft high screened refuse receptacle 	<ul style="list-style-type: none"> a. 10 ft outside existing driveway apron b. 2 deciduous trees c. Condition met per landscape plan d. 6 ft high screened refuse receptacle

§ 7.5 Off-Street Parking and Loading Regulations		
Standard	Requirement	Site Plan
Buffering, Landscaping & Screening – tree islands, snow storage [§7.5.4(c)(3)]	a. 1 canopy tree in island per 10 spaces distributed evenly in middle of row b. 2 Canopy trees in islands at end of each row c. n/a d. Designated snow storage	a. Not required – only eight spaces b. 2 canopy trees each as required c. n/a d. Dedicated snow storage not indicated
Loading Zone [§7.5.5(a)]	10 ft x 55 ft loading zone; 14' vertical clearance	10' x 55' loading zone identified; all loading/unloading will occur inside the building. Adequate approach provided. 10' overhead door.
Loading Approach Surface [§7.5.5(b)]	Asphaltic or cement binder	Concrete and asphalt surfaces
Loading Access [§7.5.5(c)]	Direct access off public street	Accessed off shared easement from M-72
Loading Location [§7.5.5(d)]	Located in rear yard only; side yard with PC approval	Located in side yard. Recommend approval since loading/unloading will occur inside the building
Loading Interference [§7.5.5(e)]	Shall not interfere with parking spaces	Does not interfere with parking spaces
Loading Screening [§7.5.5(f)]	Screened from public ROW, adjacent office or residential districts	Satisfied per landscape plan, all adjacent property zoned B-4

§ 7.5.6 Landscaping		
Standard	Requirement	Site Plan
Application [§7.5.6(b)(1-6)]	Landscape plan requirements	All required information provided
Standards & Criteria [§7.5.6(c)]	Planting standards	Size specifications provided
Planting Materials [§7.5.6(d)]	Non-invasive, native species	Plant species not approvable on ISN reference guide: <ul style="list-style-type: none"> - Boxwood (<i>Buxus sempervirens</i>) - Redbud Tree (<i>Cercis canadensis</i>) - Easter Red Cedar (<i>Juniperus virginiana</i>) - Lillies (<i>Lillium</i>) - Norway Spruce (<i>Picea Abies</i>) - American Viburnum (<i>Viburnum Opulus</i>)
Buffers [§7.5.6(e)]	Not required, all abutting properties zoned B-4	n/a

§ 7.5.6 Landscaping		
Standard	Requirement	Site Plan
ROW Landscaping [§7.5.6(f)]	<ol style="list-style-type: none"> 10' buffer along ROW 6 trees and 31 shrubs per 150 lineal ft adjacent to ROW; grouping encouraged but space between trees not to exceed 35 ft 3' tall continuous landscape screen, opaque fence, berm, or combination along ROW 	<ol style="list-style-type: none"> 10' buffer along ROW, except at existing driveway approach 6 trees approx. 16' apart, and 21 shrubs. Effective screening achieved
Completion Bond [§7.5.6(j)]	Completion bond, letter of credit, cash deposit, or certified check in the amount of the landscape improvements	No estimates provided

§ 7.8 Exterior Lighting Requirements		
Standard	Requirement	Site Plan
[§7.8.3(a)(1)]	Downlighting, cut-off shielding, efficiency, minimum amount necessary, lighting hours	Downward facing decorative goose-neck lighting provided on the exterior façade.

§ 7.11 Medical Marihuana Facilities		
Standard	Requirement	Site Plan
License Requirements [§7.11.2(a)]	Facility must have a valid license by Acme Twp and the State	Applicant has two growing licenses issued by Acme Twp. Will not be able to operate until securing a license from the State
Distance Buffers [§7.11.2(b)(1-4)]	1,000 ft buffer between specific uses	Not within 1,000 ft of any listed uses

IV. SITE PLAN REVIEW

The table below presents the required elements for a site plan review per the Zoning Ordinance, whether included in the site plan drawing, written narrative, or both. A "Yes" indicates item was accounted for, "No" indicates missing item, a blank cell indicates it is not required to be demonstrated in the site plan or narrative.

§ 8.1.4 Application Requirements			
Item	Description	Shown On Site Plan	Written Documentation
1.	A description of the environmental characteristics of the site prior to development, i.e.: topography, soils, vegetative cover, drainage, streams, creeks or ponds, as well as, the delineation of these features on the site plan drawing.	Yes	Yes
2.	Types of uses and other man-made facilities		Yes
3.	The number of: people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic		Yes

§ 8.1.4 Application Requirements			
Item	Description	Shown On Site Plan	Written Documentation
4.	Phasing of the project, including ultimate development proposals	Yes	Yes
5.	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water.	Yes	
6.	The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.		Yes
7.	The method to be used to serve the development with water and sanitary sewer facilities		Yes
8.	The location, size, and routing of water and sanitary sewer facilities	Yes	
9.	Plans for storm water control and drainage, including measures to be used during construction	Yes	
10.	Storm water calculations; and if requested storm water modeling data.	Yes	Yes
11.	If public sewers are not available to the site the applicant shall submit a current approval from the health department or other responsible public agency indicating approval of plans for sewage treatment.		Yes
12.	The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.		Yes
13.	An indication of how the proposed use conforms to existing and potential development patterns and any adverse effects		Yes
14.	Location of known Air Sheds and how the proposed use impacts this natural feature.		Yes
15.	Plans to control soil erosion and sedimentation.	Yes	Yes
16.	Incorporation of low impact development storm water technologies and other best management practices such as, but not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered storm water structures.	Yes	Yes
17.	Type, direction, and intensity of outside lighting shown on a photometric plan in compliance with exterior lighting standards.	No	No
18.	Location of any or required cross access management easements.	Yes	
19.	Location of pedestrian and non-motorized facilities; if required.	Yes	
20.	Landscaping plan	Yes	
21.	General description of deed restrictions and/or cross access management easements, if any or required.		Yes

§ 8.1.4 Application Requirements

Item	Description	Shown On Site Plan	Written Documentation
22.	Name(s) and address(es) of person(s) responsible for preparation of site plan drawings and supporting documentation.	Yes	Yes
23.	Sealed drawings from a licensed architect, engineer, or landscape architect.	Yes	

Notes:

Revised photometric plan with light details still needs to be submitted.

§ 8.2 Standards for Site Plan Review

Standard	Finding
a. That the applicant may legally apply for site plan review.	Satisfied: The Applicant is president of the LLC that owns the property
b. That all required information has been provided.	Satisfied: Per listed Agency Reviews in this report.
c. That the proposed development conforms to all regulations of the zoning district in which it is located and all other applicable standards and requirements of this ordinance, including but not limited to all supplementary regulations.	Not Satisfied: See items identified in Section III Zoning Ordinance Review above.
d. That the plan meets the requirements of Acme Township for fire and police protection, water supply, sewage disposal or treatment, storm, drainage, and other public facilities and services.	Satisfied: Gosling Czubak – Pending GT Metro Fire – Favorable Soil Erosion – No permit required Health Department – Favorable
e. That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.	Satisfied: Gosling Czubak – Pending GT Metro Fire – Favorable Soil Erosion – No permit required Health Department – Favorable
f. That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.	Satisfied: The site does not indicate sensitive natural features and is already developed; areas of disturbance have been indicated.
g. That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property.	Satisfied: – No floodplains present
h. That the soil conditions are suitable for excavation and site preparation, and that organic, wet, or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.	Satisfied: Third-party review by Gosling Czubak did not find the site to be unfavorable to development.
i. That the proposed development will not cause soil erosion or sedimentation problems.	Satisfied: No SESC permit required
j. That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff and will not cause undue runoff onto neighboring property or overloading of water courses in the area.	Satisfied: Gosling Czubak has submitted a summary of their review finding the proposed storm water management system compliant with the ordinance and appropriate for this development.

§ 8.2 Standards for Site Plan Review	
Standard	Finding
k. That grading or filling will not destroy the character of the property or the surrounding area and will not adversely affect the adjacent or neighboring properties.	Satisfied: Necessary grading and infill will be limited to the parking lot expansion and retention basin, seeded with appropriate slopes.
l. That structures, landscaping, landfills or other land uses will not disrupt air drainage systems necessary for agricultural uses.	Satisfied: The addition to the existing structure will have no detrimental impact on any existing airsheds.
m. That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage, or erosion control.	Satisfied: – Project is a single phase
n. That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems, and water and sewage facilities.	Satisfied: Existing approach of gravel easement established, existing sanitary system and well are adequate
o. That landscaping, fences or walls may be required when appropriate to meet the objectives of this Ordinance.	Not Satisfied: Landscape plan needs to be updated to include approved species.
p. That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.	Satisfied: Parking space and maneuvering lanes provide adequate circulation
q. That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.	Satisfied: Vehicular and pedestrian circulation adequately provided and separated.
r. That outdoor storage of garbage and refuse is contained, screened from view, and located so as not be a nuisance to the subject property or neighboring properties.	Satisfied: Dumpster enclosure is to be six feet in height and surrounded with vegetation.
s. That the proposed site is in accord with the spirit and purpose of this Ordinance, and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.	Satisfied: The proposed use and overall plan is consistent with this Ordinance and planning documents with the exceptions included in this report that need to be addressed.

V. REPORT SUMMARY

The Applicant is proposing to modify and occupy an approximately 2,468 vacant structure in the B-4 Material Processing and Warehousing District as a licensed medical marihuana provisioning center. The use is allowed by right in the district and is consistent with the district's intent and purpose and the Industrial future land use category in the master plan. The site has no significant natural features, is relatively flat, primarily grass, and currently developed.

This proposal is different from the Nature's ReLeaf and GR Hydro TC project in that although the Applicant is proposing to occupy an existing structure, site improvements will be made that require bringing the non-compliant zoning ordinance standards up to code. The two previous examples did not include site improvements and were therefore not made to meet the same requirements. Overall, the proposed use and modifications are substantially in accordance with the zoning ordinance and master plan, less the items called out above that can easily be addressed by updating the site plans and having the zoning administrator

review them for compliance with the applicable standards. Specifics regarding the outstanding standards are detailed below.

Storm Water Review

Gosling Czubak submitted a favorable review of the storm water management system. They have received a copy of the revised drawings and are currently reviewing the updates to make sure the system is still compliant with the Township ordinance.

Parking

No detail is provided for the parking lot poles. The height of the light poles measured to the top of the luminaire should not exceed 21 feet 3 inches. A location dedicated to snow storage will need to be identified on the site plan.

Lighting

An updated photometric plan still needs to be submitted. The plan should show the lighting details as well as the intensity. The site plan elevations show an excess amount of exterior lighting on all four sides of the building, including those that do not have any entrance/exits points. It is recommended that the number of lights be reduced in compliance with the exterior lighting provisions. There is also a detail showing a bollard-style light, but no locations identified.

Landscaping

The updated landscaping plan does not include approved species from the Northwest Michigan Invasive Species Network's *Recommended Planting Guidelines for Municipalities: Native Plant Recommendations* (pp. 3-7). A landscape bond will be required in the amount equal to materials and labor, with the estimate prepared by a professional landscaper.

Signage

Site plan approval or a land use permit does not include approval of any signage as indicated in the site plan review. A separate sign permit application will need to be submitted, reviewed and approved prior to the erection and installation of any signage. The site plan does include an element the Planning Commission may want to consider. Sheet A1 includes a detail for a three-dimensional, eight (8) foot high red space person watering what appears to be a marihuana plant. Adjacent to the space person is a nine (9) foot high flagpole with the text #Redbud Roots. This raises the question whether this is a sign or not. The flag is pretty clear if in fact it is a flag. The zoning ordinance under Section 7.4.6(c)(11) allows corporate or institutional flags up to thirty five (35) square feet. However, it looks like it may be of solid construction designed to look like a flag in which case it should be considered a freestanding sign. The three-dimensional space person is another issue altogether. On one hand, if it is to be considered a sign, the zoning ordinance does not have listed standards for three-dimensional signs. Traditionally, if a use is not listed, then it is not allowed. There have been instances in the past where the Planning Commission has debated items displayed as either landscaping/art or signage. Most recently was the horse statue displayed at the former Spirit of the West. An ongoing example is Woodland Creek. Whether or not the three-dimensional space person and accompanying flag are to be considered signs is something the counsel and the zoning administrator may want to review and form a determination before issuing a sign permit.

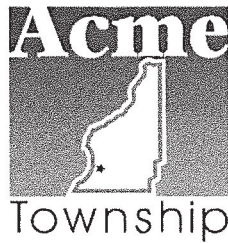
Suggested Motion for Consideration:

Motion to approve Site Plan Review application SPR 2019-05, submitted by Alexander M. Leonowicz, Redbud Roots Lab X Inc, to modify and occupy an approximately 2,468 square foot licensed medical marihuana provisioning center located at 6669 E M-72, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit:

1. The site plan be updated to
 - a. Identify a dedicated snow storage area;
2. The landscape plan be updated to

- a. Provide a list of species by common name and scientific name that match those allowable by the zoning ordinance under the Northwest Michigan Invasive Species Network's *Recommended Planting Guidelines for Municipalities: Native Plant Recommendations*;
 - b. Submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor to install the plantings on the landscape plan, prepared by a professional landscaper.
3. A revised photometric plan be submitted that
 - a. Shows the location and detail type of ALL light fixtures utilizing cutoff shielding and downward facing fixtures;
 - b. Limits wall pack fixtures to points of ingress and egress, excluding main front entry way where they shall be prohibited.
4. Receive a favorable storm water management plan review by the Township's engineer of record after all required improvements have been included;
5. Submit a set of revised plans in electronic pdf format and a set of full-size prints sealed by a licensed engineer, architect or landscape architect and signed by the Applicant and Planning Commission Chair.

Application Number: _____



Special Use Permit/Site Plan Review Application

Township of Acme, Grand Traverse County, Michigan

6042 Acme Road, Williamsburg, MI 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: www.acmetownship.org

Planning & Zoning Administrator: Shawn Winter Email: swinter@acmetownship.org

Owner Information (please type or print clearly):

Name: 6669 E-M72, LLC Phone: (248) 880-9436

Mailing Address: 215 Post Rd

City: Buchanan State: MI Zip: 49107

Email Address: Leonowicza@gmail.com

Applicant Information (please type or print clearly):

Name: Redbud Roots Lab X, Inc. Phone: 269-999-1090

Mailing Address: 215 Post Rd.

City: Buchanan State: MI Zip: 49107

Email Address: dave@redbudroots.com

A. Property Information:

1. **Address:** 6669 E. M72
Williamsburg, MI 49690

2. **Parcel Number/Property Description:**
01-014-034-30

3. **Current Zoning of Property:**
B-4

4. If this project is one phase of a larger development and/or property subject to an **existing/previous Site Plan Review, Special Use Permit, or Variance**, what is/are the applicable permit number(s)? n/a

5. **Provide proof of current property ownership.** If applicant is not the current property owner, also provide written permission to act as agent of, and complete contact information for the current property owner. See attached.

Application Number: _____

6. Proposed Use/Change to Property

Medical Marijuana Provisioning Center

7. Estimated Start and Completion Dates:

April 1, 2019 - June 1, 2019

B. Application Packet Requirements: REFER TO ACME TOWNSHIP ZONING ORDINANCE AND COMPLETE ATTACHED CHECKLIST

C. Fees: Include initial fee as required by the Acme Township Ordinance #2004-01

D. Fee Escrow Policy Acknowledgement: Provide completed and signed form with initial escrow fee deposit.

E. Affidavit: The undersigned affirms that he/she is the Owner (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future Special Use Permit and Zoning Ordinance compliance.

Signed: _____

Date: Apr. 18, 2019

FOR TOWNSHIP USE ONLY

Application Number: _____

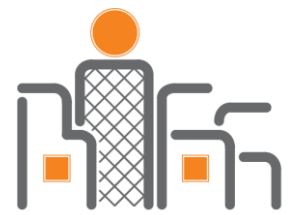
Date Received: _____

Public Hearing/Meeting: _____

Date of Advertising: _____

T&A Account: _____

NOTES:



ARCHITECTURE

BIGGdesigns, llc

www.biggdesigns.com

127 E. Commerce St. #201

Milford, MI 48381

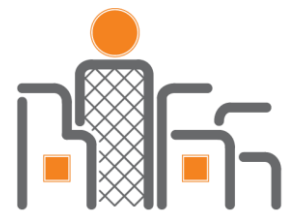
biggdesignsllc@gmail.com

P: 248.886.4460

PROJECT NARRATIVE

Below is a project narrative based on the Zoning Ordinance Items.

1. Description of environmental Characteristics of site prior to development.
 - a. Response: (REFER TO T1 PHOTO/KEY MAP/SP.1) Site has been developed and is about 80% planted grass area with approximately 10% trees and shrubs. An asphalt parking lot taking approximately 10% of the site. Site is flat and accessed by a gravel drive. There are no streams, creeks, or ponds on the site. Water naturally drains from rear property to front property.
2. Types of uses and other man-made facilities
 - a. Response: (1) vacated existing building is on-site. An existing asphalt parking lot is on-site. Utilities are available.
3. Number of People houses, employed, visitors, vehicular traffic, pedestrian traffic
 - a. Response: Vehicular traffic is minimal up a gravel drive off M-72. The road has shared access with other industrial businesses. Access to site is limited to employee access and clientele access. Clientele may only access facility as permitted by Michigan Law. The facility limits the number of occupants within the Facility to 15 people maximum at any given time. Clientele must check in and may wait as sales area is limited to available consultants. Employees have 'secure' limited access via employee key cards. No pedestrian access is anticipated. No general public access is permitted. Vehicle deliveries from small trucks or vans is anticipated and must fit inside delivery doors for loading/unloading. No overnight housing is provided nor permitted.
4. Phasing of Project
 - a. Response: (REFER TO A1) Project is to be completed in (1)Phase. The site is too small to sustain major additions/expansions. Any future additions would require future approvals.
5. Natural Features retained, removed, modified
 - a. Response: (REFER TO A1/S1) Over grown trees may be trimmed or cut for maintenance needs. Existing grass area will need to be removed to install Storm water retention pond. Any vegetation and features outside of Scope of work will remain.
6. Description of areas to be changed including affect on site
 - a. Response: (REFER TO A1/S1/L1). Existing grass area to be dug out for Storm water retention system. Additional sculpting of the existing asphalt parking will be required to install additional Landscaping.
7. Method to serve development with water and sanitary sewers
 - a. Response: (REFER TO SP.1/A1) Existing well is to be re-used for water supply. Existing Sanitary System will be re-used.
8. Location, size, and routing of water and sanitary sewers.
 - a. Response: Existing Water and Sanitary shall be re-used. No proposed changes at this time. (if changes arise during site construction, we will contact authorities)
9. Plans for Storm water control and drainage
 - a. Response: (REFER TO S1). Storm water will be filtered and routed to a retention pond
10. Storm water calculations
 - a. Response: (REFER TO S1) Calculations are provided.
11. If public sewers not available, submit Health Department approval.
 - a. Response: No changes are proposed. Health Department was contacted. If changes occur to Water/Sewer they must be contacted again.



ARCHITECTURE

BIGGdesigns, llc

www.biggdesigns.com

127 E. Commerce St. #201

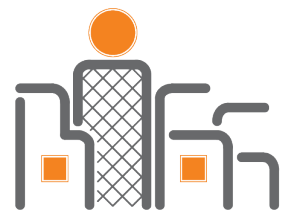
Milford, MI 48381

biggdesignsllc@gmail.com

P: 248.886.4460

12. Method to control any increase in effluent discharge to air or increase in noise emanating from site. (Dust, noise, fumes, vibration, smoke or lights.)
 - a. Response: No dust, fumes, vibrations, smoke is anticipated as this is a retail use. No manufacturing occurs. All products are pre-packaged and sold. No smoking is permitted on site.
 - b. All lights will be shield downlights meeting Dark Sky requirements. A photometric is provided.
13. Indication of how the proposed use conforms to existing and potential development patterns and any adverse effects.
 - a. Response: The proposed use utilizes an otherwise vacant building within an already developed area. There is extensive growth and merchants popping up along M-72 targeting tourist route. The new use is a specialized mercantile providing needs to a focused customer target. Mercantile use and provides less adverse effects than typical manufacturing facilities within the area.
14. Location of air sheds and how the proposed use impacts this natural feature.
 - a. Response: The proposed project does not affect any local air sheds.
15. Plans for Soil Erosion and sedimentation
 - a. Response: Soil erosion permit has been submitted to local authority. Due to the small site, soil erosion permit may not be required. A silt fence will be provided around the construction area regardless of permit requirements. No storm drains existing nearby and any runoff will be mitigated during construction.
16. Incorporation of low impact development storm water technologies, and best management practices,
 - a. Response: (REFER TO S1). A retention pond that is fully vegetated is provided to maintain additional runoff caused by newly constructed areas. The untouched grass areas will remain as natural runoff.
17. Type, direction, intensity of lighting shown on photometric plan in compliance with exterior lighting standards
 - a. Response: (REFER TO PHOTOMETRIC PLANS)
18. Location of cross access management easements
 - a. Response: No cross-access easements provided.
19. Location of pedestrian and non-motorized facilities (if required)
 - a. Response: No pedestrian access is provided to the site.
20. Landscaping Plan
 - a. Response: (REFER TO L1) Additional landscaping is provided to meet ordinance.
21. General description of deed restrictions or cross access of management easements
 - a. Response: No deed restrictions or cross access easements provided.
22. Name and addresses of persons responsible for preparation of Site Plan drawings and supporting documentation,
 - a. Response: (REFER TO S1/A1).
23. Sealed Drawings from a Licensed architect, engineer.
 - a. Response: (REFER TO S1,A1) Licensed Architect and Engineer have created and provided plans. Plans will be submitted to local authorities and comply with Building Codes and zoning ordinances.

Please contact us regarding any comments or questions.



ARCHITECTURE

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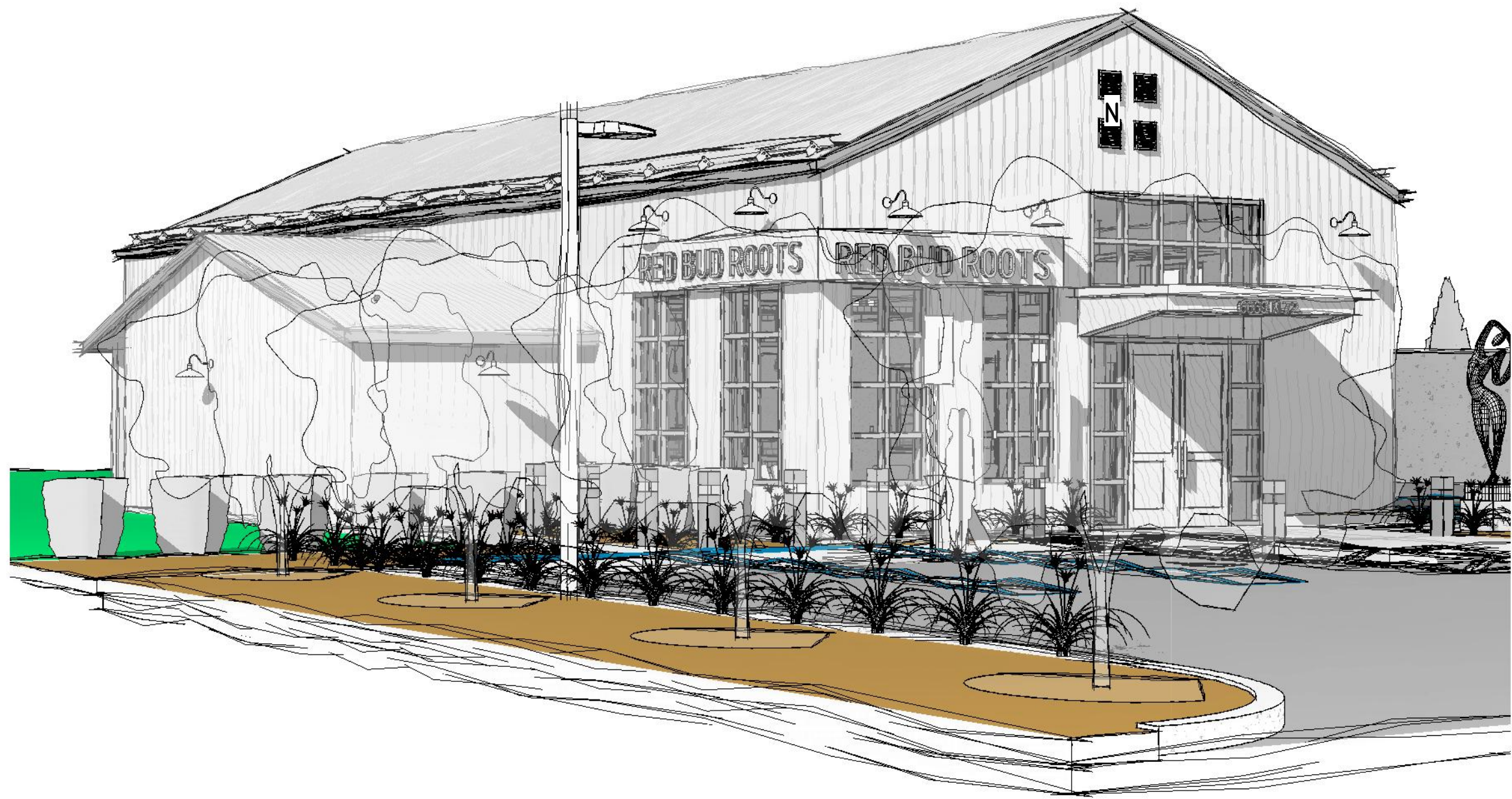
INTRO

- Site Plan Review for Acme Township Planning & Zoning Report
- Application No.: SPR 2019-05

BIGGdesigns has completed and reviewed the Suggested Motion for Consideration of Red Bud Roots Acme in Williamsburg, MI provided by Acme Township Planning & Zoning Report.

1. The site plan be updated to
 - a. Removed the existing areal imagery in the background;
 - b. Have lengthened all parking stalls to twenty (20) feet;
 - c. Have lengthened the treed islands to match the length of the parking stalls to twenty (20) feet;
 - d. Have expanded maneuvering lanes to a width of at least twenty (20) feet;
 - e. Have included a four (4) inch raised asphalt curb around the new parking lot and maneuvering lanes;
 - f. Have included a four (4) wide sidewalk on the south side of the building and is adjacent to the new parking lot that connects directly with the paved front entrance;
 - g. Identify a dedicated snow storage located in the northwest corner of the parking lot
 - h. Placed three (3) parking lot light poles in the southeast, northeast and northwest corners of the parking lots. The height of the poles, measured to the top of the luminaire are thirteen (13) feet
 - i. Raised the height of the dumpster enclosure to six (6) feet.
2. The landscape plan be updated to
 - a. Provided a list of species by common name and scientific name that match those allowable by the zoning ordinance under the Northwest Michigan Invasive Species Network's *Recommended Planting Guidelines for Municipalities: Native Plant Recommendations*;
 - b. Included the recommended caliper and/or height of each species found in Acme Township Zoning Ordinance;
 - c. Added an additional canopy tree to the west treed island in the new parking lot;
 - d. Added twenty-one (21) shrubs along the right of way to create a continuous screen in the landscape buffer zone;
 - e. Included five (5) canopy or conifer trees north of the parking lot along the north property line between the property line and retention basin, spaced at twenty-four (24) feet apart within the east/west extent of the new parking area;
 - f. Included one (1) conifer tree planted on the west side of the new parking lot;
 - g. Owner will provide all the required bonds.
3. A revised photometric plan be submitted that
 - a. Clarus Lighting & Controls will provide detailed lighting locations and fixtures;
 - b. Showed the limits wall pack fixtures to points of ingress and egress.
4. Submitted a set of revised plans in electronic pdf format and a set of full-size prints sealed by a licensed engineer, architect or landscape architect and signed by the Applicant and Planning Commission Chair.

Please contact us regarding any comments or questions.



4 PERSPECTIVE



1 LOCATION MAP - CD
1" = 400'-0"



2 VICINITY MAP - CD
1" = 300'-0"



3 KEY PLAN
1/32" = 1'-0"

PROJECT INFORMATION

CLIENT

- CHRIST FANTA
- RED BUD ROOTS
- 215 POST ROAD
- BUCHANAN, MI 49107
- CHRIS@REDBUDROOTS.COM
- 773.255.3752

ARCHITECT

- CHRIS BIGGERS, NCARB
- LIC: 1301055316 EXP: 10/31/2020
- BIG G designs, LLC
- 127 E. COMMERCE ST. SUITE 201
- MILFORD, MI 48381
- 248.886.4460
- BIGGDESIGNSLLC@GMAIL.COM

GENERAL CONTRACTOR

- DALE
- HARRIS BUILDERS

- DALE@HARRISBUILDERSLLC.COM
- 810.891.4341

USE STATEMENT

- STATEMENT DESCRIPTION OF PROJECT
- RENOVATION OF (E) BUILDING AS REQUIRED FOR (N) DISPENSARY

SCOPE OF WORK

- SURVEY: PROVIDED BY CLIENT.
- SITE: MINIMAL WORK, EXCEPT PARKING REQUIRED.
- EXTERIOR: (N) SIGN, FACADE REVISIONS, LIGHTING
- INTERIOR: (N) WALLS, DOORS, FINISHES AS REQUIRED
- ELECTRICAL: (E) 200 A, 120/208, 3P SERVICE TO REMAIN
- MECHANICAL: (N) FLOOR MOUNTED SURFACES
- PLUMBING: (N) RESTROOMS AND PLUMBING AS REQUIRED.
- STRUCTURAL: NOT ANTICIPATED

NOTES

CODE

- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN REHAB. CODE FOR EX. BUILDINGS
- 2015 MICHIGAN FIRE CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN FUEL GAS CODE
- 2015 MICHIGAN ENERGY CONSERV. CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2017 ICC/ANS A117.1
- LOCAL ZONING ORDINANCE

BUILDING CLASSIFICATION

- CONSTRUCTION TYPE: V-B
- FIRE SUPPRESSION: NONE
- SEISMIC DESIGN: I/II/III/V-A,B,C,D,E,F
- SNOW LOAD: VERIFY W/LOCAL AUTHORITY

DEFERRED SUBMITTALS

- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.

COMPLIANCE

- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL. IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

NOTES

- DO NOT SCALE PLANS
- COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS.
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION
- SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT.
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURES SPECS FOR DURATION OF CONSTRUCTION.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
- ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED ELECTRONICALLY.
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
- COPYRIGHT 2019 BIGGDESIGNS, LLC



BIGG designs, LLC
127 E. COMMERCE ST. SUITE 201
MILFORD, MI 48381
248.886.4460
BIGGDESIGNSLLC@GMAIL.COM

SHEET INDEX CD

SHEET	NAME	DATE	REV.
SPA	Unnamed	06/10/19	
T1	COVER SHEET	03.30.2019	6.17.2019
T2	LIFE SAFETY PLAN	03.30.2019	
T3	GENERAL NOTES	03.30.2019	
T4	UL SPECS	03.30.2019	
SP.1	EXISTING CONDITIONS PLAN	03.15.2019	
S1	DRAINAGE PLAN	04.24.2019	
L1	LANDSCAPE PLAN	03.30.2019	6.17.2019
FA	FIRE ALARM PLAN	DEFERRED	
FD1	(E)ELEVATIONS	03.30.2019	
FD2	(E)FLOOR PLAN	03.30.2019	
X1	DEMO PLAN	03.30.2019	
X2	DEMO ELEVATIONS	03.30.2019	
A1	SITE PLAN	03.30.2019	6.17.2019
A2	FLOOR PLAN	03.30.2019	
A3	CEILING PLAN	03.30.2019	
A4	EXTERIOR ELEVATIONS	03.30.2019	6.17.2019
A5	EXTERIOR ELEVATIONS	03.30.2019	
A6	INTERIOR ELEVATIONS	03.30.2019	
A7	SECTIONS ELEVATIONS	03.30.2019	
A8	ISO-PERSPECTIVES	03.30.2019	
E1	LIGHTING PLAN	03.30.2019	
E2	POWER PLAN	03.30.2019	
P1	SEWER & WATER PLAN	03.30.2019	
P2	DETAILS	03.30.2019	
M1	HVAC PLAN	03.30.2019	
M2	HVAC SPECS	03.30.2019	
FFE	FIXTURES, FURNISHINGS, AND EQUIPMENT	03.30.2019	
INT	INTERIOR FINISH PLAN	03.30.2019	
NRG	COMCHECK	DEFERRED	
SP-A1	SITEPLAN	03.30.2019	
SP-A2	FLOORPLAN	03.30.2019	
SP-A3	ELEVATIONS	03.30.2019	
SP-A4	ELEVATIONS	03.30.2019	
SP-A5	ISO	03.30.2019	
SEC	SECURITY PLAN	03.30.2019	
L201	PHOTOMETRIC PLAN	DEFERRED	

PROJECT

19144
RED BUD ROOTS ACME

6669 E M-72
WILLIAMSBURG, MI 49690

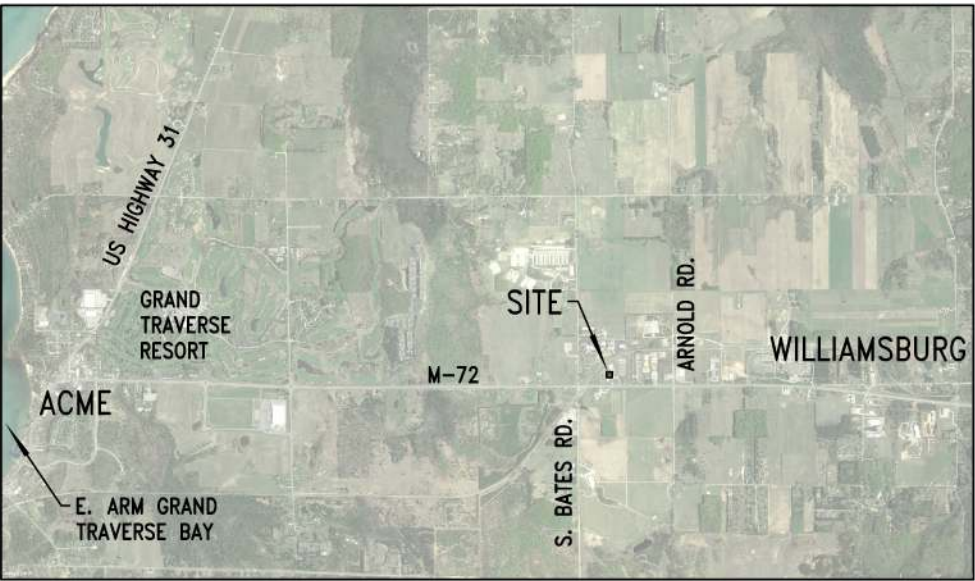
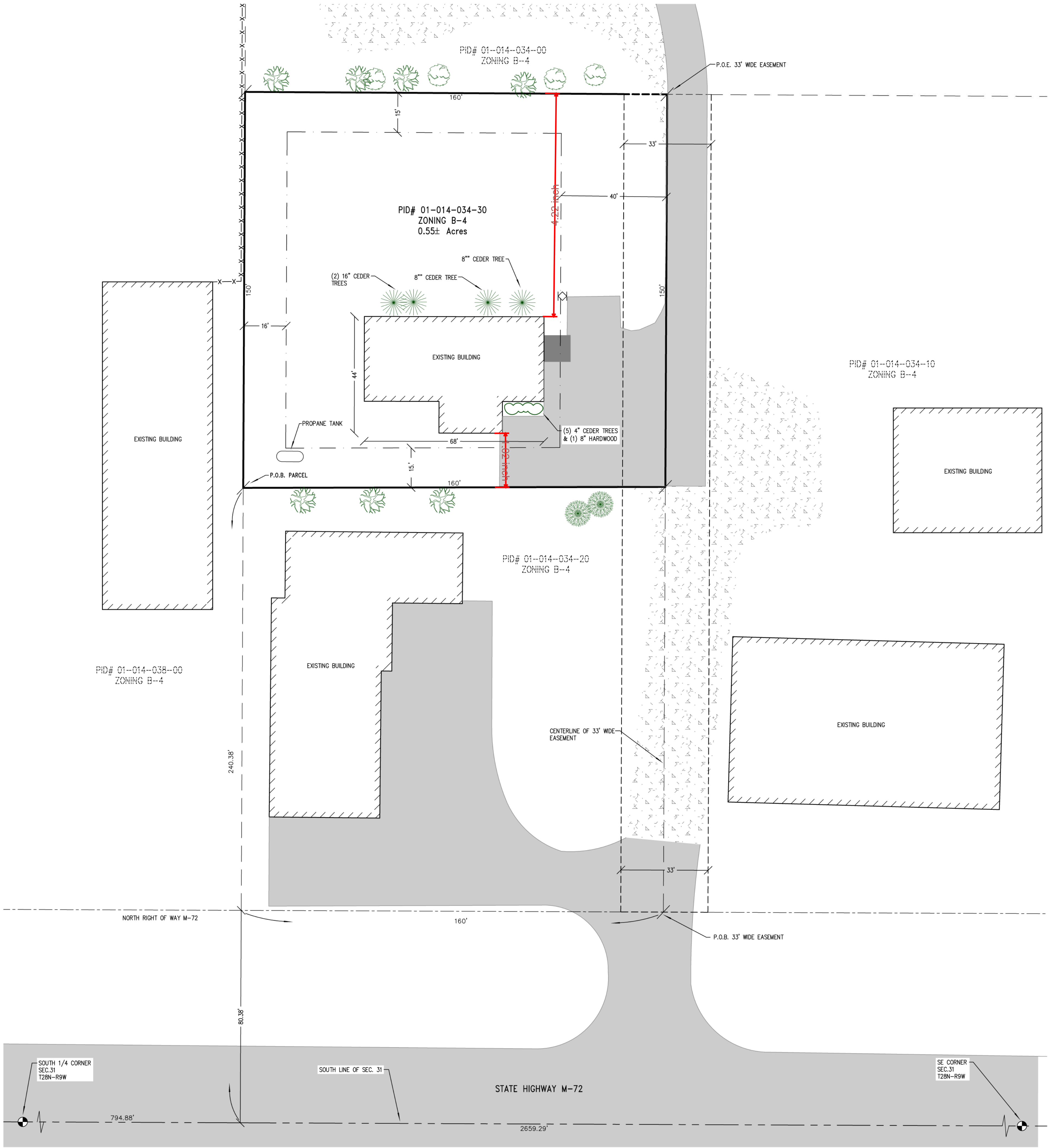
PERMIT SET

COVER SHEET
03.30.2019

REV

REV	NOTE	DATE
1	REV 1-SPA REVIEW	04.29.2019
2	REV 2	6.17.2019

T1



VICINITY MAP
SCALE: 1" = 1 MILE

SITE DATA

PID# 01-014-034-30

LEGAL DESCRIPTION PROVIDED BY CLIENT:
THAT PART OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 28 NORTH, RANGE 9 WEST, MORE FULLY DESCRIBED AS:
COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 31; THENCE NORTH 89°26'41" EAST ALONG THE SOUTH SECTION LINE 794.88 FEET; THENCE NORTH 00°33'19" WEST 240.38 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°33'19" WEST 150.00 FEET; THENCE NORTH 89°41'17" EAST 160.00 FEET; THENCE SOUTH 00°33'19" EAST 150.00 FEET; THENCE SOUTH 89°41'17" WEST 160.00 FEET TO THE POINT OF BEGINNING.

EASEMENT 33 FEET IN WIDTH FOR INGRESS AND EGRESS, THE CENTERLINE OF WHICH EASEMENT IS DESCRIBED AS:
COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 31, TOWN 28 NORTH, RANGE 9 WEST; THENCE NORTH 89°26'41" EAST ALONG THE SECTION LINE 794.88 FEET; THENCE NORTH 00°33'19" WEST 80.38 FEET; THENCE NORTH 89°41'17" EAST ALONG THE NORTHERLY LINE OF STATE HIGHWAY M-72 A DISTANCE OF 160 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE; THENCE NORTH 00°33'19" WEST 310 FEET TO THE POINT OF ENDING OF SAID CENTERLINE.

CURRENT ZONING: B-4 MATERIAL PROCESSING & WAREHOUSEING

BUILDING SETBACKS

- FRONT YARD - 20% OF THE LOT DEPTH
160' X 20% = 32' (SHALL NOT BE LESS THAN 40')
- SIDE YARD - 10% OF THE LOT WIDTH
150' X 10% = 15' (SHALL NOT BE LESS THAN 10')
- REAR YARD - 10% OF THE LOT DEPTH
160' X 10% = 16' (SHALL NOT BE LESS THAN 10')

SITE AREA: 0.55± ACRES

CURRENT USE: STORAGE BUILDING


THE PARCEL BOUNDARY SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS BASED ON A COMBINATION OF FIELD OBSERVATIONS, GRAND TRAVERSE COUNTY GIS MAPS, AND A LEGAL DESCRIPTION PROVIDED BY THE CLIENT. THIS DRAWING DOES NOT CONSTITUTE A CERTIFICATE OF SURVEY.

- LEGEND
- SECTION CORNER
 - BOUNDARY LINE
 - SECTION LINE
 - ROAD RIGHT OF WAY
 - BUILDING SETBACK
 - 33' WIDE EASEMENT
 - LOT LINE
 - EXISTING FENCE LINE
 - EXISTING WATER WELL
 - P.O.B. POINT OF BEGINNING
 - P.O.E. POINT OF ENDING
 - EXISTING BUILDING
 - EXISTING ASPHALT
 - EXISTING CONCRETE
 - EXISTING GRAVEL
 - EXISTING TREE GROUPING
 - SMALL SHRUB (EXISTING)
 - 8"-12" BLUE SPRUCE (EXISTING)
 - CEDAR (EXISTING)
 - 4" MAPLE (EXISTING)



SITE PLAN

SCALE: 1" = 20'
0 10 20 40

JOB# 19-005 SHEET	PROJECT		 NME NORTHERN MICHIGAN ENGINEERING INC. 114 N. COURT AVE. SUITE 203 GAYLORD, MI 49735 (888)217-3177	Scott D. McLean P.S. LICENSE# 37817	REVISIONS		DATE	BY
	REDBUD ROOTS (BIGG DESIGNS)				DRAWN BY	E.J.D.		
	EXISTING CONDITIONS PLAN				CHECKED			
					APPROVED BY			
					DATE	3/14/19		
SP.1	6669 EAST M-72 WILLIAMSBURG, MI 49690				PRINT DATE	3/15/19		

STORMWATER CALCULATIONS

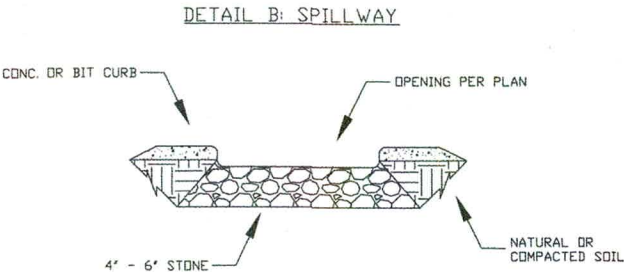
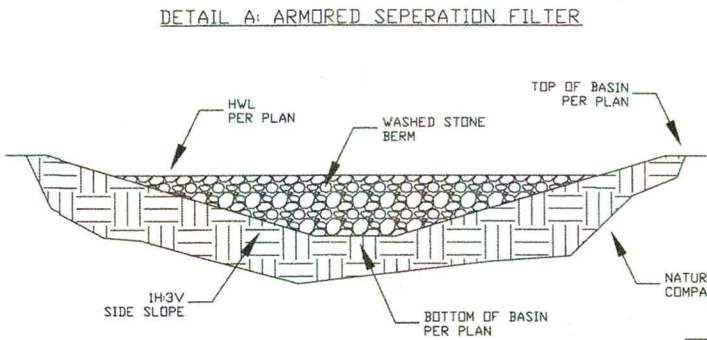
Storm Water Basin Volume Requirements (Double 24-hr 100-yr)					
Tributary Area	Sq. Footage	Acres	Curve Number	Intensity (in/hr)	Q (cft/sec)
Existing Roof	1,983	0.0455	0.95	0.2117	0.0092
Existing Asphalt	818	0.0188	0.98	0.2117	0.0039
Proposed Asphalt	3,252	0.0747	0.98	0.2117	0.0155
Grassed Area	13,125	0.3013	0.10	0.2117	0.0064
Total	19,178	0.4403	-	-	0.0349
Total 24-hr 100-yr (Cu. Ft.)					3,016
Double 24-hr 100-yr (Cu. Ft.)					6,033
Volume Provided (Cu. Ft.)					6,364

Sediment Forebay Volume Requirements (5% 24-hr 25-yr)					
Tributary Area	Sq. Footage	Acres	Curve Number	Intensity (in/hr)	Q (cft/sec)
Existing Roof	1,983	0.0455	0.95	0.1621	0.0070
Existing Asphalt	818.0	0.0188	0.98	0.1621	0.0030
Proposed Asphalt	3,252	0.0747	0.98	0.1621	0.0119
Grassed Area	13,125	0.3013	0.10	0.1621	0.0049
Total	19,178	0.4403	-	-	0.0267
Total 24 hr 25-yr (Cu. Ft.)					2,310
5% 24 hr 25-yr (Cu. Ft.)					115
Volume Provided (Cu. Ft.)					120

NOTES

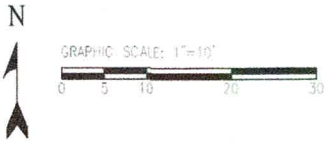
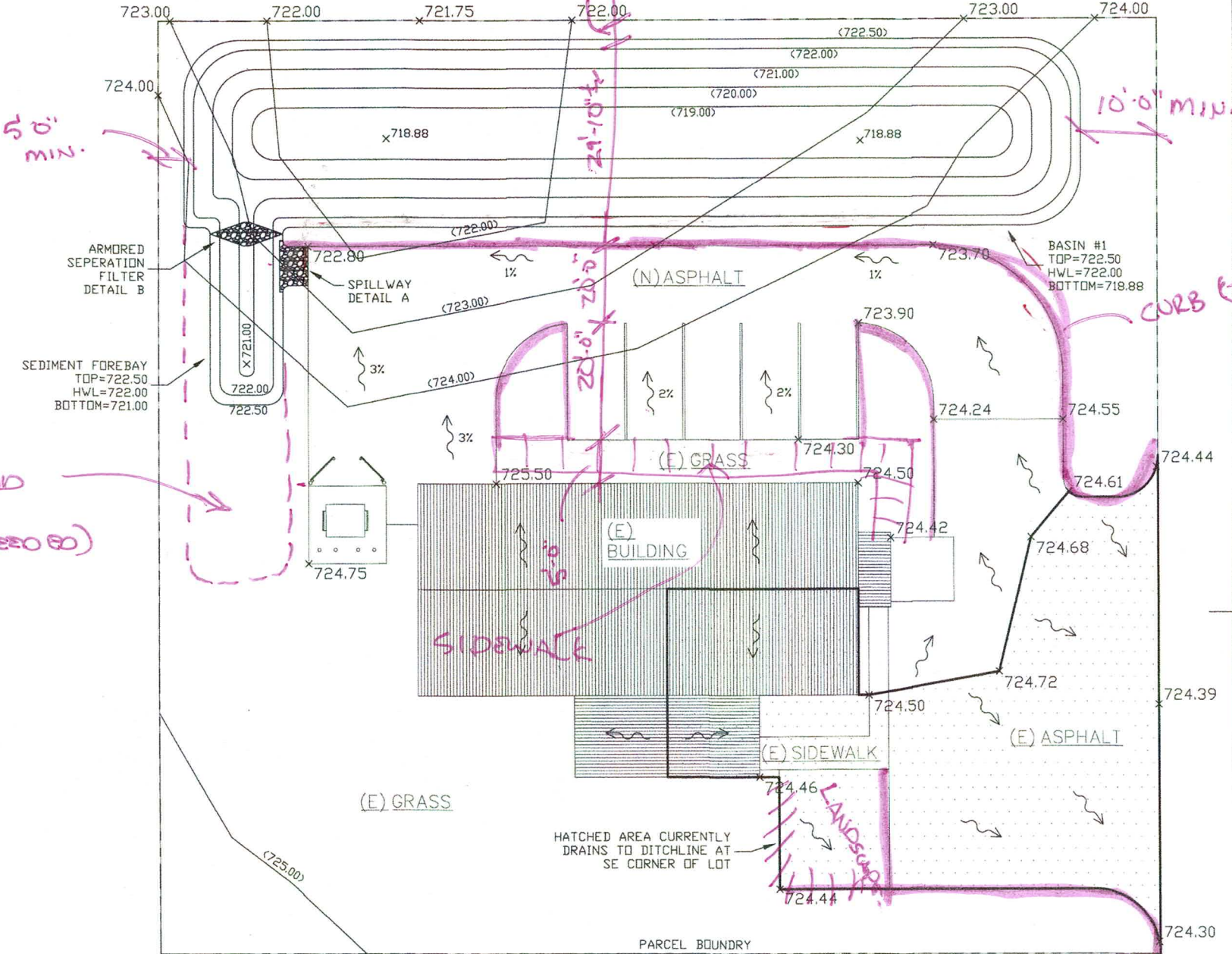
1. BASIN VOLUME DESIGNED TO MEET ACME TOWNSHIP ORDINANCE REQUIREMENT TO STORE RUNOFF FROM BACK-TO-BACK 24-HOUR 100-YEAR STORM EVENTS WITHOUT REDUCTION FOR INFILTRATION.
2. SEDIMENT FOREBAY VOLUME DESIGNED TO MEET ACME TOWNSHIP ORDINANCE REQUIREMENT TO STORE 5% RUNOFF FROM 24-HOUR 25-YEAR STORM EVENT.
3. MAXIMUM BASIN DEPTH DETERMINED TO BE 3.12 FEET BASED ON STANDARD INFILTRATION RATE OF 0.52 INCHES PER HOUR.
4. DRAINAGE WATERSHED DELINEATION DETERMINED BY SITE INVESTIGATION.
5. EXISTING SITE TOPOGRAPHY BASED ON DIGITAL ELEVATION MODEL DATA AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

DETAILS



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RevNo	Revision Note	Date	Signature	Checked
01	Proposed Drainage Plan for RED BUD ROOTS - Acme Twp.	04/24/19		KRK



SPA. REV. 2019.06.17
4/24/19

Ref. #01	Description: SITE DRAINAGE PLAN FOR RED BUD ROOTS		Owner: RED BUD ROOTS		
Designed By HARRIS BUILDERS	Checked By K.KOBYLSKI	Approved by - Date KRK - 4/24/19	File Name RBR_SW_01	Date 04/24/19	Scale 1" = 10'
Harris Builders, LLC. Traverse City, MI, 49684 231-360-1055			SHEET S1: DRAINAGE PLAN PROJECT: RED BUD ROOTS - ACME		
			Revision 01	Sheet 1/1	

MARK	QTY	DESC	LATIN NAME	COMM. NAME	MINIMUM REQ	MATURE HEIGHT	MATURE SPREAD	NOTES	NATIVE SPECIES
A	18	SHRUB	BUXUS SEMPERVIRENS	BOXWOOD	18" inch SPREAD	3' ft	2-4' ft	Slow rate, with height increases of less than 12" per year.	YES
B	13	DECIDUOUS TREE	CERCIS CANADENSIS	REDBUD TREE	2" inch CALIPER, 7' ft HEIGHT	15' - 30' ft	15' - 30' ft	Height increases of 13" per year.	YES
C	9	CONIFER TREE	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	8' ft HEIGHT	15' - 40' ft	8' - 20' ft	Height increases of 13" per year.	YES
D	104	GROUND COVER	LILIUM	LILIES	2' - 4' ft	2' - 4' ft	1' ft		YES
E	6	CONIFER TREE	PICEA ABIES	NORWAY SPRUCE	8' ft HEIGHT	15' - 40' ft	15' - 30' ft	Height increases of 13" per year.	YES
F	21	SHRUB	VIBURNUM OPULUS	AMERICAN VIBURNUM	30" inch HEIGHT	3' ft	15' - 30' ft	Height increases of 13" per year.	YES

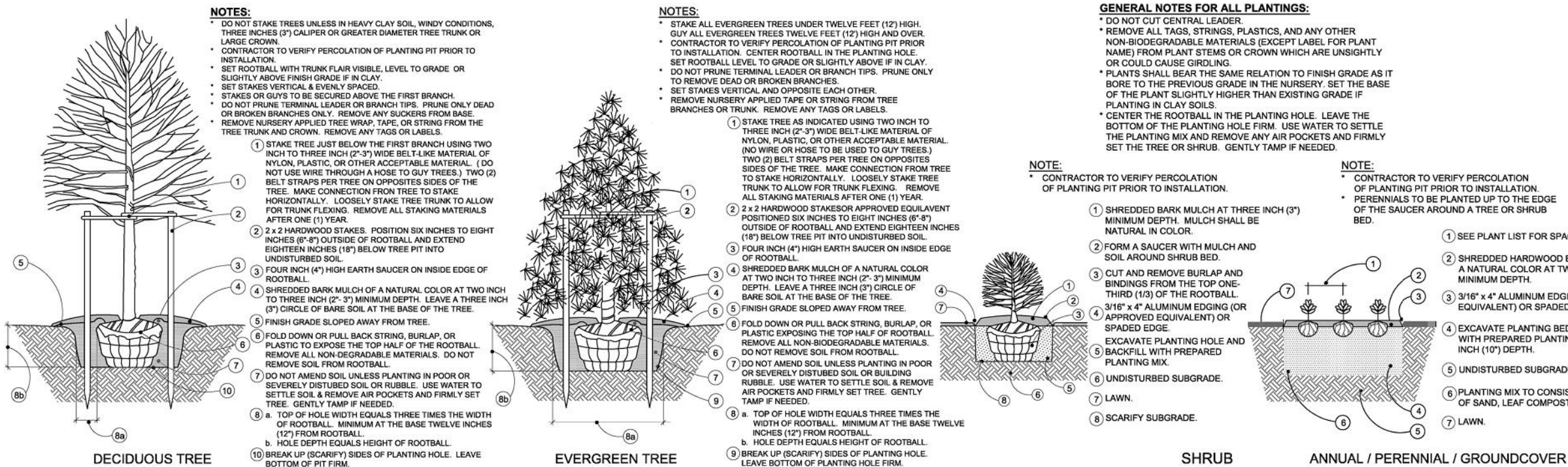
1. Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by White Lake Township, Michigan.
2. The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
4. Plants designated "BBB" shall be balled and burlapped with firm bails of 3/4" rope.
5. Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
6. The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
7. When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
8. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color shredded hardwood bark mulch will be accepted.
9. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls as well as any other material that is non-biodegradable material such as plastic or nylon completely from branches and stems.
10. All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
11. Organic, fine-textured topsoil to be evenly distributed and fine graded over areas to receive lawns at uniform depth of four inches (4") after settling.
12. All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be made as needed, but no later than the following year.
13. The Contractor shall be responsible for the maintenance, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
14. Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
15. All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated at all building materials and pour soils to a depth of eighteen inches (18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
16. Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of eighteen inches (18") depending on the depth of the sub base and dispose of off site; b. Call the Township for an inspection to be made by the Township engineer; c. Add good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
17. If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below the top of existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.
18. Edging, where specified, shall consist of Perma-loc aluminum edging, spaced edge, or approved equivalent.

1. Plants shall not be located within two feet (2') of the property line.
2. Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be of nursery grade. The Department of Agriculture has specified: a. No 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched; and e. Guaranteed for two (2) years.
3. Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic material with a pH range of 5.5 to 6.5. The topsoil shall be free from clay clumps, coarse sand, plant roots, sticks, and other foreign materials.
4. The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheeri/Adelphi" at sixty percent (60%), Cheewing Fescue at twenty-five percent (25%), Creeping Red Fescue at ten percent (10%), and Annual Ryegrass at five percent (5%). The seed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
5. Sod shall be two (2) year old "Baron/Sheeri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
6. Proposed perennials shall be well established, well-rooted plants.
7. Cattleberry Pear (*Pyrus calleryana*) and Norway Maple (*Acer platonicoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

1. Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerlines of overhead wires for planting holes. Call MISS D's forty-eight (48) hours prior to landscape construction for field location of utility lines.
2. The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative, shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
4. The cul-de-sac island and greenbelt plantings shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering. The seeded lawn areas in the road right-of-way and open space areas shall be watered by the landscape contractor until complete vegetation coverage is achieved. Shrubs and plants have been planted in the landscape.
5. All written dimensions override scale dimensions on the plans.
6. Report all changes, substitutions, or deletions to the Owner's representative.
7. All bidders must inspect the site and report any discrepancies to the Owner's representative.
8. All specifications are subject to change due to existing conditions.
9. The Owner's representative reserves the right to approve all plant material.

MAINTENANCE

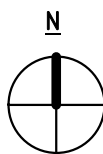
- good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
3. The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
4. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
5. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
6. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
7. Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.



1/16" = 1'-0"

The landscape plan for Zone B-4 shows a building footprint of 2,468 sq ft with a hatched pattern. To the north of the building is a parking island with asphalt paving and a central island. The plan includes various setbacks: side setbacks of 24'-0" on the north and east sides, a rear setback of 10'-0" on the west side, and a front setback. The building is surrounded by a retention area. The plan also shows a dumpster enclosure screen, a statue, and various plantings including trees (A, B, C, D, E, F), mulch, and gravel. The plan is labeled with 'ZONE: B-4' in multiple locations. A note on the right side states: '(E) APRON EXISTING BUILDING PREVENTS INSTALLATION OF PARKING LANDSCAPE BUFFER. ADDITIONAL TREES ARE PLANTINGS ARE SPREAD THROUGH SITE'. The plan is titled 'LANDSCAPE PLAN' at the bottom left.

1" = 10'-0"



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- SUBMIT VENDOR LIST
- OWNERS ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT
- S.C. ALL AS TO S.A. AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT.
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURERS SPECS FOR DURATION OF CONSTRUCTION.
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- ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED ELECTRONICALLY
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANY OTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
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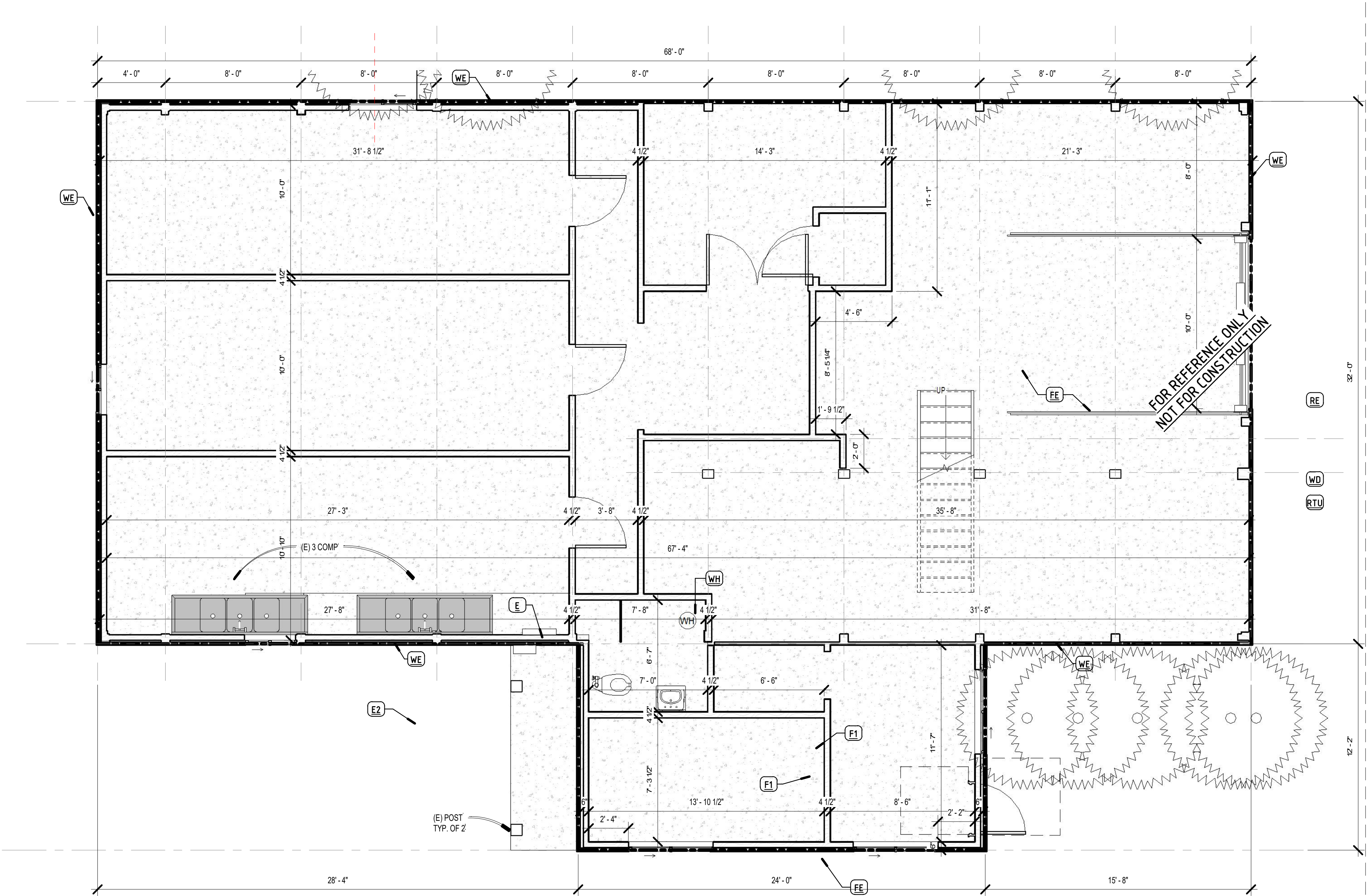
19144
RED BUD ROOTS
ACME
6669 E M-72
WILLIAMSBURG, MI 49690

REV		
<u>REV</u>	<u>NOTE</u>	<u>DATE</u>
1	REV 1-SPA REVIEW	04.29.2019
2	REV 2	6.17.2019



EXIST. NOTES

TAG	NOTE CONTENT
E	EXISTING ELECTRICAL PANEL () AMP, 120/208, 3P
E2	GENERATOR
FE	HEATER
FE	EXISTING FLOOR
G	EXISTING GAS CONNECTION
RE	EXISTING ROOF
RTU	EXISTING RTU: MANUF: _____ MODEL: _____ SIZE: _____ GAS OR ELECT
S	EXISTING SEWER CONNECTION SIZE: _____
W	EXISTING WATER LINE: SIZE: _____
WD	EXISTING WALL (DEMISING)
WE	EXISTING WALL (EXTERIOR) 2x4 PURLINS (HORIZ) @2'-0" O.C.
WH	(E) WATER HEATER



(E)FLOOR PLAN

1/4" = 1'-0"

NOTES

- CODE**
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 - 2015 MICHIGAN MECHANICAL CODE
 - 2015 MICHIGAN PLUMBING CODE
 - 2015 MICHIGAN FIRE CODE
 - 2015 MICHIGAN FUEL GAS CODE
 - 2015 MICHIGAN ENERGY CONSERVATION CODE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2017 ICC/ANSI A117.1
 - NFPA 101
 - LOCAL ZONING ORDINANCE

- BUILDING CLASSIFICATION**
- CONSTRUCTION TYPE: II-B
 - FIRE SUPPRESSION: NO
 - SEISMIC DESIGN: ZONE 1
 - SNOW LOAD: CONTACT LOCAL AUTHORITY
- (CONTACT LOCAL BUILDING DEPT.)

- DEFERRED SUBMITTALS**
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PROJECT

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RED BUD ROOTS
ACME
6669 E M-72
WILLIAMSBURG, MI 49690

PERMIT SET

(E)FLOOR PLAN
03.30.2019

REV

REV NOTE DATE

FD1

NOTES

- CODE
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 - 2015 MICHIGAN FUEL GAS CODE
 - 2015 MICHIGAN ENERGY CONSERVATION CODE
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 - NFPA 101
 - LOCAL ZONING ORDINANCE

- BUILDING CLASSIFICATION
- | | |
|--------------------|-------------------------|
| CONSTRUCTION TYPE: | II-B |
| FIRE SUPPRESSION: | NO |
| SEISMIC DESIGN: | ZONE 1 |
| SNOW LOAD: | CONTACT LOCAL AUTHORITY |
- (CONTACT LOCAL BUILDING DEPT.)

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FOR REFERENCE ONLY
NOT FOR CONSTRUCTION
RED BUD
Roots
BUILDING GROUP

PROJECT

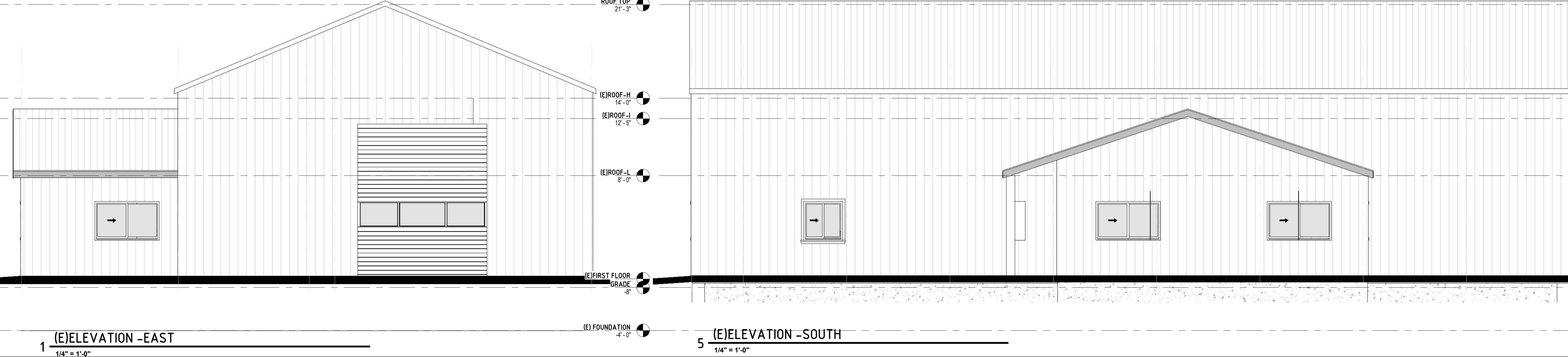
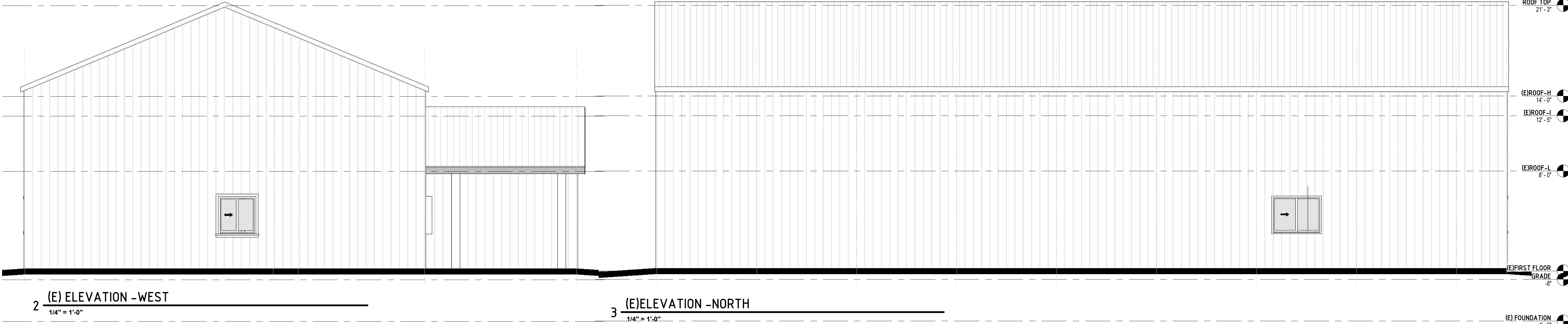
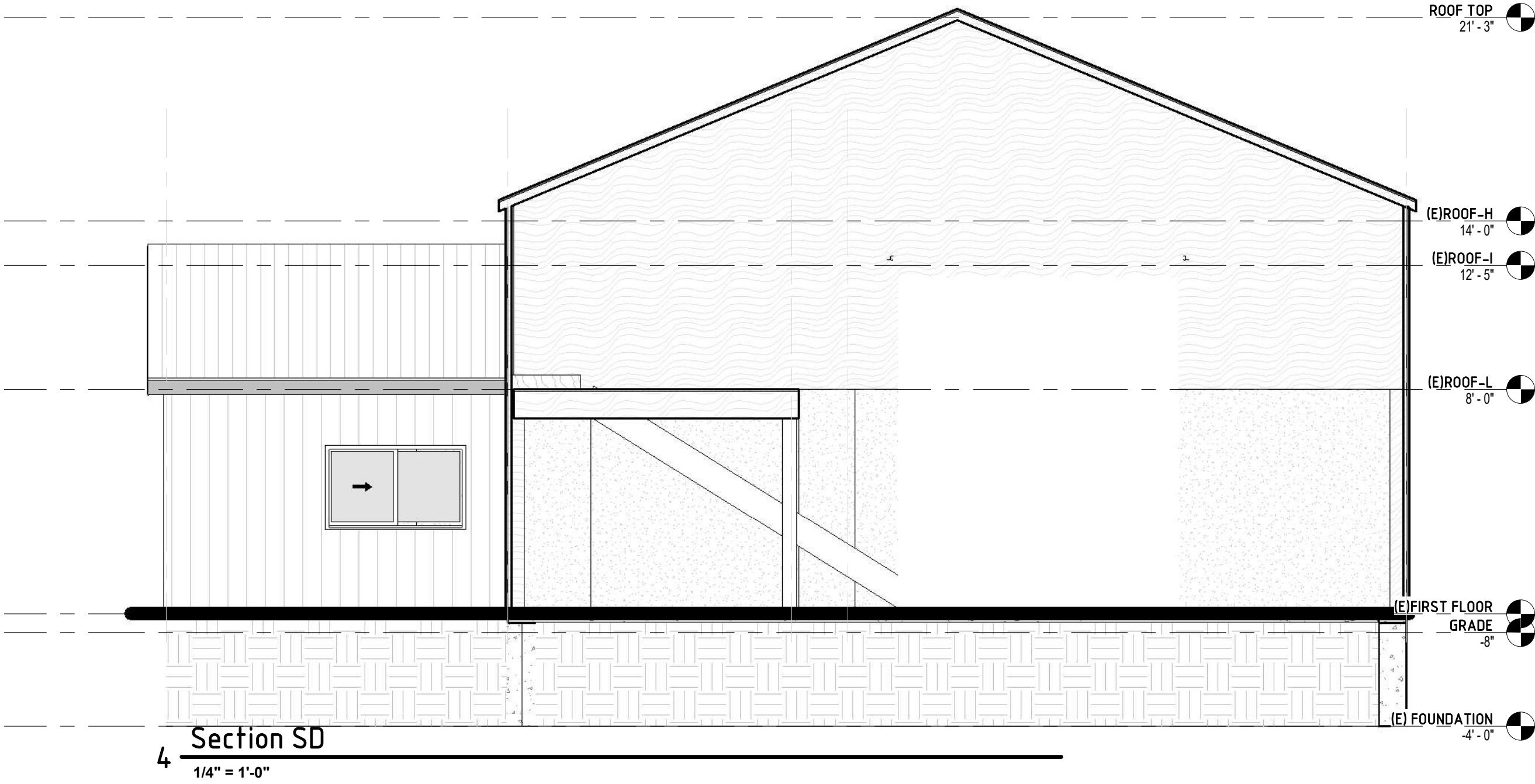
19144
RED BUD ROOTS
ACME
6669 E M-72
WILLIAMSBURG, MI 49690

PERMIT SET

(E)ELEVATIONS
03.30.2019

REV

NOTE	DATE
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<u>TAG</u>	<u>NOTE CONTENT</u>
1	(E) ASPHALT TO BE REPAIRED
2	RE-STRIPED PARKING AS SHOWN
3	(N) CONCRETE WALK
4	(N) GRAVEL DRIVE MAINTAIN (E) ELEVATIONS
5	(N) MULCH
6	(N) DUMPSTER WITH ENCLOSURE PER ZONING ORDINANCE
7	RE-LEVEL AREA TO SLOPE WATER AWAY FROM BUILDING
8	(N) LOADING ZONE (10'-0" x 55'-0"). NOTE THAT ACTUAL LOADING OF VANS OCCURS WITHIN THE BUILDING. EXTERIOR LOADING IS NOT PERMITTED.
9	(E) GRASS RE-SEED AS REQ'D.
10	ALL (E) GRADES SHALL REMAIN. (N) PAVING SHALL MATCH (E) GRADES
11	ALL EXTERIOR LIGHTING SHALL BE SHIELDED DOWN AND SHALL COMPLY WITH LOCAL DARK SKY REQUIREMENTS. REFER TO LTG PHOTOMETRIC
12	(N) RETENTION POND- REFER TO STORM DRAINAGE POND.
13	(N) SNOW STORAGE
14	(N) 6" X 6" POLE
15	(N) STATUE
16	(N) RAMP W/ TRUNCATED DOMES
17	(E) TYPE III WELL
18	4" RAISED ASPHALT CURB AROUND THE NEW PARKING LOT
19	(N) PARKING LOT LIGHT POLES
20	(N) GOOSENECK LIGHTING

P.L.N.: 01-014-034-30
ZONE: B-4
SITE AREA: .55 ACRES

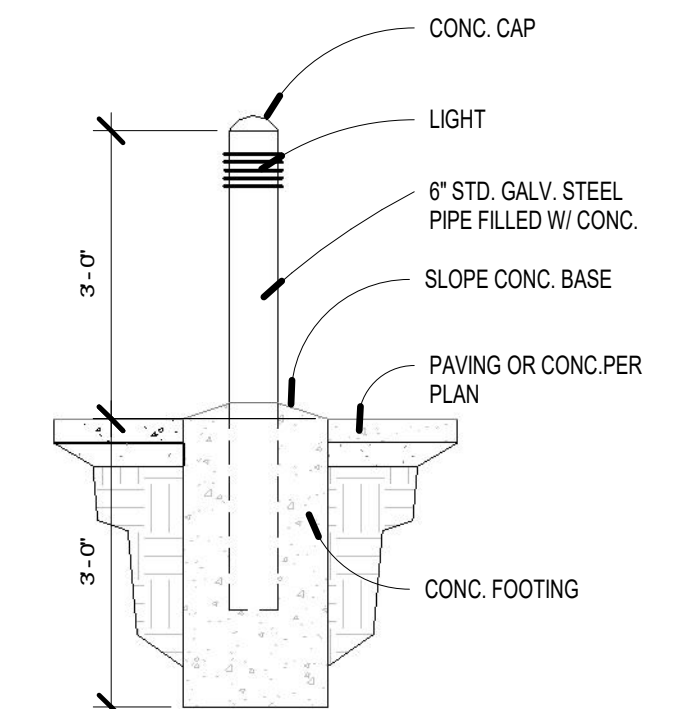
PARKING REQUIREMENTS

MINIMUM:	1 PER 1,000 SQUARE FEET OF FLOOR AREA
MAXIMUM:	1 PER 200 SQUARE FEET OF FLOOR AREA

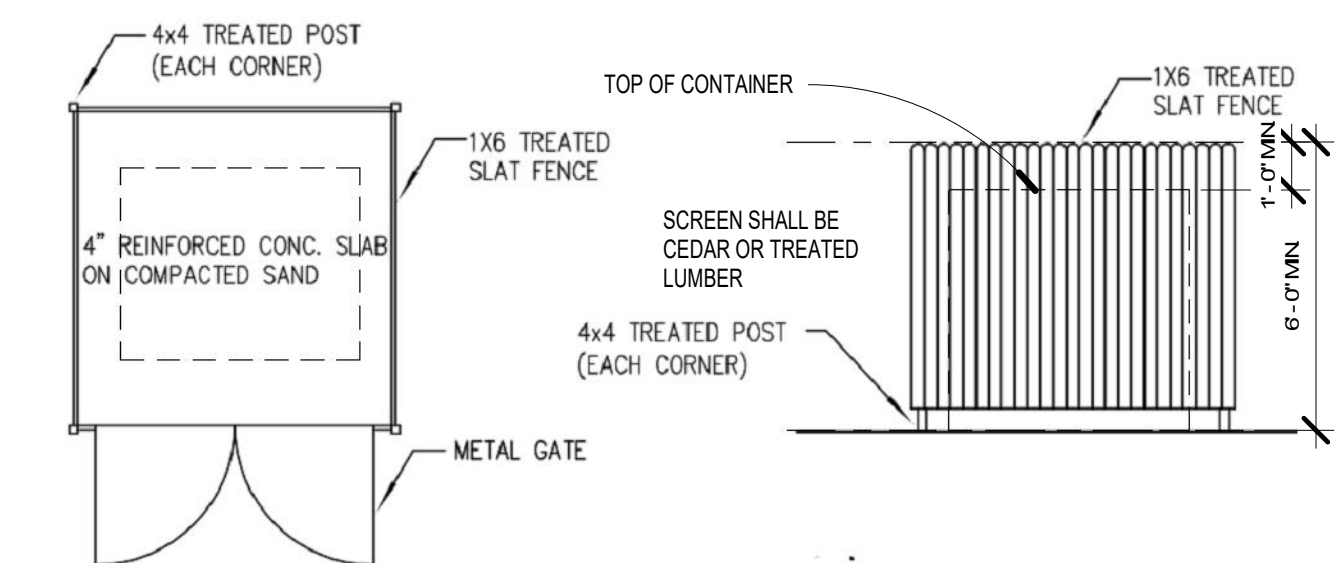
MIN. PARKING REQUIRED:	2464 SF / 1000 SF = 3 SPACES
MAX. PARKING REQUIRED:	2464 SF / 200 SF = 13 SPACES
PARKING PROVIDED:	8 SPACES

NOTE: DISPENSARY OPERATES AS A RETAIL FACILITY IN WHICH CLIENTS SCHEDULE APPOINTMENTS FOR CONSULTATION. CLIENTS ARE LIMITED TO LOBBY AREA AND THEN ADMITTED TO THE SALES AREA. IF WALK-IN TRAFFIC OCCURS, CLIENTEL MUST WAIT IN THE LOBBY PRIOR TO ADMISSION TO SALES AREA.

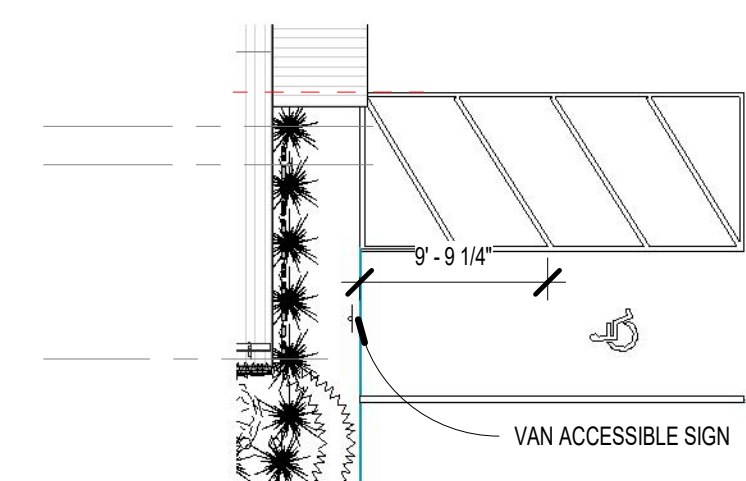
PARKING SPACES WILL BE LIMITED TO ADMIT 8 OCCUPANTS MAX. AT A TIME



5 BOLLARD DETAIL
1/2" = 1'-0"



3 DUMPSTER SCREEN
1/4" = 1'-0"

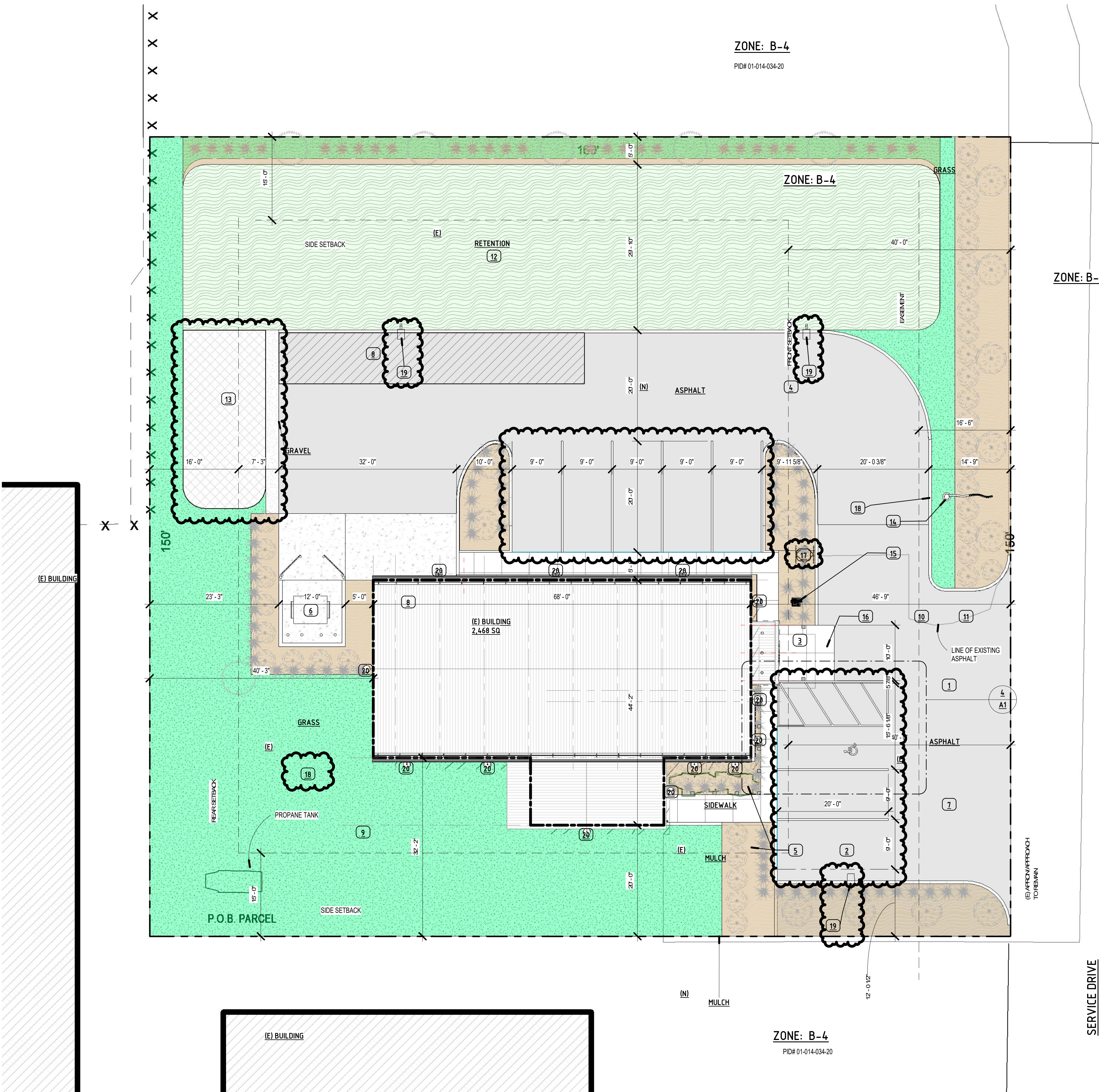


4 BARRIER FREE PARKING
1" = 10'-0"



6 STATUE
1/4" = 1'-0"

1" = 10'-0"



CODE

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- 2015 MICHIGAN PLUMBING CODE
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- CONSTRUCTION TYPE: II-B
- FIRE SUPPRESSION: NO
- SEISMIC DESIGN: ZONE 1
- SNOW LOAD: CONTACT LOCAL AUTHORITY

(CONTACT LOCAL BUILDING DEPT

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6669 E M-72
WILLIAMSBURG, MI 49690

SITE PLAN
03.30.2019

REV		
REV	NOTE	DATE
1	REV 1-SPA REVIEW	04.29.2019
2	REV 2	6.17.2019

A1

<u>TAG</u>	<u>NOTE CONTENT</u>
<u>A1</u>	CONSTRUCTION SHALL BE COMPLETED ACCORDING TO THE LOCAL BUILDING CODES AND SHALL COMPLY WITH ALL LOCAL BUILDING, PLUMBING, ELECTRICAL, AND ZONING REQUIREMENTS
<u>A2</u>	FINAL DESTINATION OF FIRE EXTINGUISHERS TO BE DETERMINED BY FIRE MARSHALL. PROVIDE PORTABLE FIRE EXTINGUISHERS FOR ALL AREAS AS NECESSARY PER M.F.P.A. STANDARD #10
<u>A3</u>	OWNER TO PROVIDE "MAXIMUM OCCUPANT LOAD" SIGN WHEN REQUIRED BY CODE
<u>A4</u>	SAW CUT AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW UNDERGROUND PLUMBING (TYPICAL) INSTALL NEW SLAB AND REBAR PER LANDLORD DETAILS
<u>F1</u>	USE CHAINLINK SCREWED TO STUDS @ 12" O.C. ALL WALLS AND CEILING
<u>F5</u>	SAW CUT AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW UNDERGROUND PLUMBING (TYPICAL) INSTALL NEW SLAB AND REBAR PER LANDLORD DETAILS
<u>F6</u>	ADD ROXUL SAFER OOR MINERAL WOOL INSULATION

(E) EXIST.

(D) DEMO

(N) NEW

R1

ROOF

METAL STANDING SEAM

PRE-ENG WD TRUSS

WF

INTERIOR FURRING

WALL MTL

2x4 WD STUDS @ 16" O.C.

INSULATION (VERIFY WITH BUILDING ENERGY COMPLIANCE)

(1) LAYER 5/8" GYP. BOARD

*EXTEND TO UNDERSIDE OF DECK

WE

WALL (EXTERIOR)

CMU

F1

FLOOR (SLAB)

P. CONC. SLAB

W.W.F.

6 MIL. VAPOR BARRIER

COMP. SAND OR GRAVEL

UNDISTURBED EARTH

ALUM

ALUM. STOREFRONT

ALUM. STOREFRONT

W/1" INSUL. GLASS

TEMPERED GLASS PER CODE

*RATED WALLS ENDING AT THE STOREFRONT MUST PROVIDE 1-HR FIRE/SMOKE CONNECTION TO THE NEAREST MULLION OR PILASTER.

INSUL

INSULATION

THERMAFIBER MINERAL WOOL OR ROCKWOOL

BLOCK

BLOCKING AS REQ'D BY EQUIPMENT

REFER TO BLOCKING DETAILS.

PLOY

MTL

METAL SIDING

2x4 WD PURLINS @ 4'-0" O.C. (HORIZ)

(1) LAYER 5/8" GWB

2x4 STUDS @ 16" O.C.

(1) LAYER 5/8" GWB

WD-INT

EXT. SHEATHING W/VAPOR BARRIER

2x6 STUDS @ 16" O.C.

(1) LAYER 5/8" GWB

WE-WD

(1) LAYER 3/8" GWB

2x6 STUDS @ 16" O.C.

(1) LAYER 5/8" GWB

WD

UL305

(1) LAYER 3/4" DECKING

2x10 STUDS @ 16" O.C.

(1) LAYER 5/8" GWB

F2

12"

2 x 6 1/2"

6" LENGTH OF ITEM 6"

HAND SINK

1" - 8"

2" to

WHERE 5/8" GYP. IS EXISTING, REMOVE AS NECESSARY AND INSTALL BLOCKING. REPAIR AS NECESSARY AND RESTORE INTEGRITY OF FIRE RATING

3/4" FIRE RATE PLYWOOD BLOCKING FLUSH TO BACK SIDE OF CWB.

2-1/2" 16 GA METAL STUDS BETWEEN WALL STUDS

12"

5/8" GYP. BD.

5/8" PLYWOOD

METAL STUDS AS PER WALL TYPE

APPLY FINISH TO ENTIRE FACE OF WALL PER PLAN

4x-1/4"

4x-0"

5/8" DURAROCK

1. BLOCKING DETAILS DO NOT INTEND TO BE A COMPREHENSIVE INDICATION OF ALL BLOCKING REQUIREMENTS FOR THE ENTIRE JOB. THE INTENT IS TO DEFINE BLOCKING LIMITS FOR SPECIFIC EQUIPMENT ITEMS AS IDENTIFIED.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF OTHER ITEMS (SUCH AS TOILET ROOM ACCESSORIES) THAT MAY ALSO REQUIRE BLOCKING.
3. BLOCKING IS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND HARDWARE AS REQUIRED.
4. REFER TO EQUIPMENT PLAN, EQUIPMENT SPECS, AND INTERIOR ELEVATIONS FOR BLOCKING LOCATIONS AND REQUIREMENTS.
5. USE NON-COMBUSTIBLE BLOCKING UNLESS FIRE RETARDANT TREATED OR PERMITTED BY CODE.

3
N.T.S.

2 N.T.S.

EXISTING SLAB-ON-GRADE

#5 BARS x 2'-0" LONG @ 18" O.C.
DRILL/EPOXY 6" INTO EXISTING SLAB

MIN. 3,500 PSI CONCRETE WITH VAPOR
BARRIER

SLAB-ON GRADE TO MATCH EXISTING

COMP. SAND
MATCH EXISTING

4
N.T.S

N.T.S.

5 1/2" = 1'-0"

[illegible]

1/4" = 1'-0"

CODE
2015 MICHIGAN REHABILITATION CODE FOR
EXISTING BUILDINGS
2015 MICHIGAN MECHANICAL CODE
2015 MICHIGAN PLUMBING CODE
2015 MICHIGAN FIRE CODE
2015 MICHIGAN FUEL GAS CODE
2015 MICHIGAN ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRICAL CODE
2017 ICC/ANSI A117.1
NFPA 101
LOCAL ZONING ORDINANCE

CONSTRUCTION TYPE: II-B
FIRE SUPPRESSION: NO
SEISMIC DESIGN: ZONE 1
SNOW LOAD: CONTACT LOCAL
AUTHORITY
CONTACT LOCAL BUILDING DEPT.

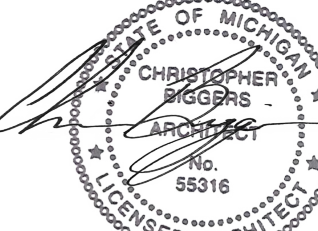
ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.

THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN AFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

DO NOT SCALE PLANS
COORDINATE ALL DRAWINGS, DETAILS, AND
EQUIPMENT SCHEDULES
ALL TRADES SHALL REVIEW AND HAVE ACCESS
TO ENTIRE SET OF PLANS AND SPECS PRIOR TO
BIDDING AND DURING CONSTRUCTION.
SUBMIT ALL CHANGES AND
OWNER/ARCHITECT APPROVED SCHEDULE,
PHOTOS, AND PROGRESS REPORT
FIELD VERIFY EXISTING CONDITIONS AND
REPORT ANY INCONSISTENCIES TO ARCHITECT
AND ENGINEER. ALL CHANGES, ADDITIONS
AND DEVIATIONS FROM THE PLANS TO OWNER &
ARCHITECT.
PROVIDE STORAGE FOR ALL EQUIPMENT AND
MATERIALS IN ACCORDANCE TO
MANUAL AND SPECIFICATIONS FOR DURATION OF
CONSTRUCTION
WORK SHALL NOT COMMENCE PRIOR TO
RECEIPT OF ALL APPROVED PERMITS.
ALL REQUESTS FOR INFORMATION SHALL BE
SUBMITTED IN WRITING.
THE PLANS AND DETAILS INCLUDED IN THIS
PROJECT ARE FOR THE SOLE PURPOSE OF THIS
PROJECT. THE USE OF THESE DETAILS ON
ANY OTHER PROJECT IS STRICTLY PROHIBITED
UNLESS APPROVED BY ARCHITECT.
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WWW.BIGGDESIGNS.COM



REDBUD
Roots
BUCARAN | MICHIGAN
EST. 2012

19144
RED BUD ROOTS
ACME
6669 E M-72
WILLIAMSBURG, MI 49690

FLOOR PLAN
03.30.2019

REV	NOTE	DATE
-----	------	------

A2

ELEVATION NOTES

TAG	NOTE CONTENT
EL1	(E) STANDING SEAM ROOF
EL2	(E) METAL SIDING
EL3	(E) METAL TRIM
EL4	(N) ALUM. STOREFRONT WITH 1" INSULATION GLASS
EL5	(N) 4x4 EXT. WOOD CUT @ STAGGERED DEPTHS
EL6	(N) WOOD SIGN WITH METAL LETTERS TO MEET ZONING ORDINANCE
EL7	ADDRESS
EL8	(N) O.H. DOOR
EL9	(N) VENTS
EL10	SNOW REM.
EL11	SNOW ICE PROTECTOR

NOTES

- CODE
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 - 2015 MICHIGAN MECHANICAL CODE
 - 2015 MICHIGAN PLUMBING CODE
 - 2015 MICHIGAN FIRE CODE
 - 2015 MICHIGAN FUEL GAS CODE
 - 2015 MICHIGAN ENERGY CONSERVATION CODE
 - 2017 NATIONAL ELECTRICAL CODE
 - 2017 ICC/ANSI A117.1
 - NFPA 101
 - LOCAL ZONING ORDINANCE

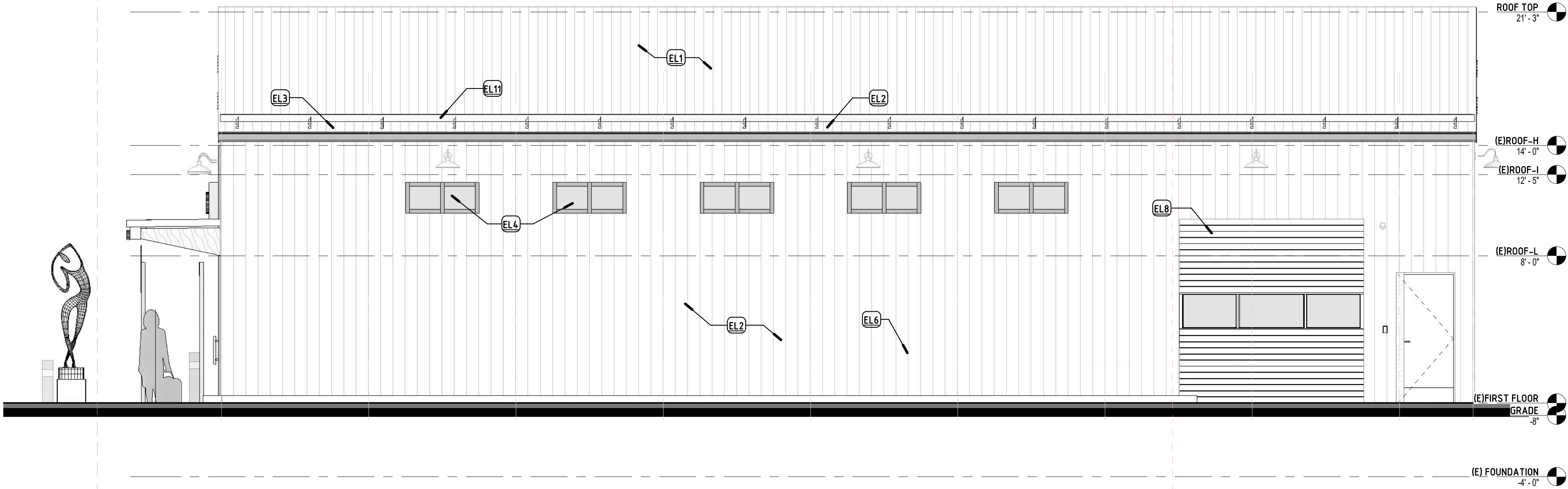
- BUILDING CLASSIFICATION
- CONSTRUCTION TYPE: II-B
 - FIRE SUPPRESSION: NO
 - SEISMIC DESIGN: ZONE 1
 - SNOW LOAD: CONTACT LOCAL AUTHORITY
- (CONTACT LOCAL BUILDING DEPT.)

- DEFERRED SUBMITTALS
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- COMPLIANCE
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 - FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT
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1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

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PROJECT

19144
RED BUD ROOTS
ACME
6669 E M-72
WILLIAMSBURG, MI 49690

PERMIT SET
EXTERIOR ELEVATIONS
03.30.2019

REV	NOTE	DATE
1	REV 2	6.17.2019

ELEVATION NOTES

TAG	NOTE CONTENT
EL1	(E) STANDING SEAM ROOF
EL2	(E) METAL SIDING
EL3	(E) METAL TRIM
EL4	(N) ALUM. STOREFRONT WITH 1" INSULATION GLASS
EL5	(N) 4x4 EXT. WOOD CUT @ STAGGERED DEPTHS
EL6	(N) WOOD SIGN WITH METAL LETTERS TO MEET ZONING ORDINANCE
EL7	ADDRESS
EL8	(N) O.H. DOOR
EL9	(N) VENTS
EL10	KNOX BOX
EL11	SNOW/ICE PROTECTOR

NOTES

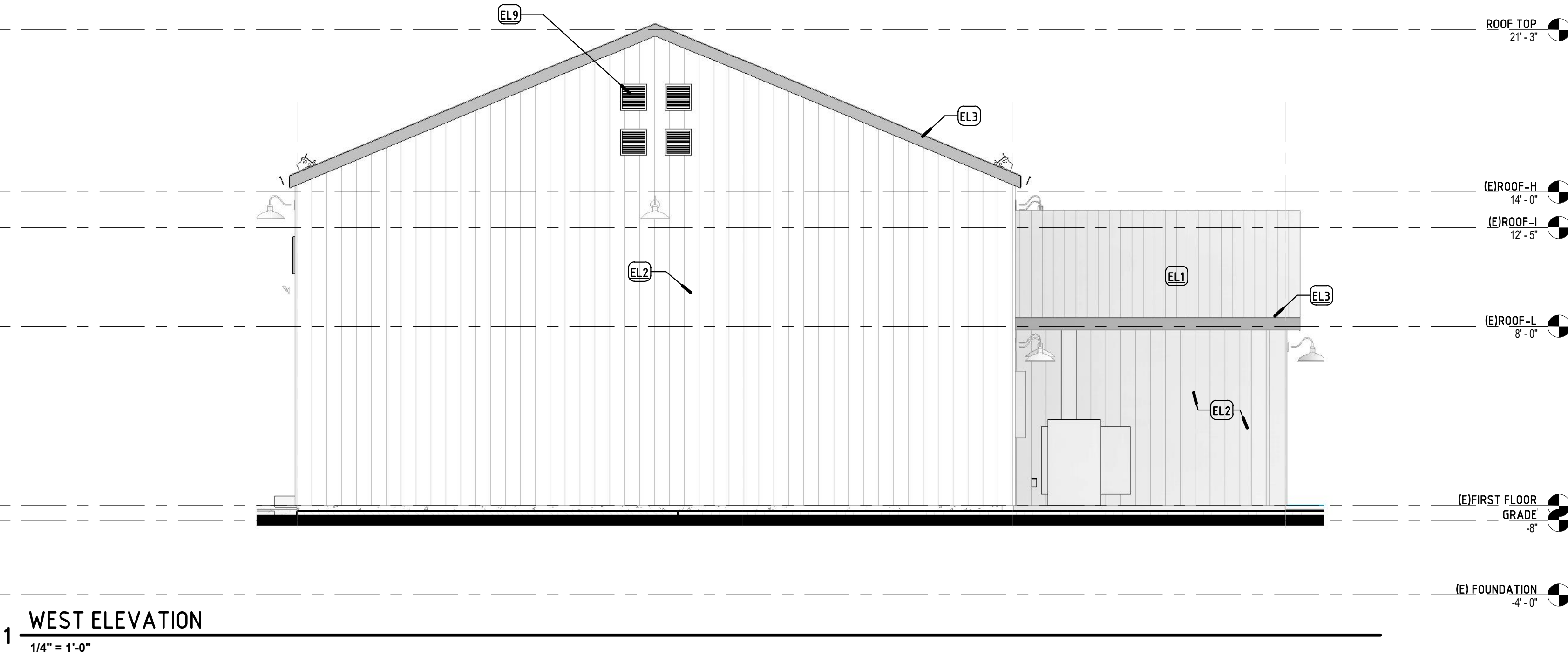
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- BUILDING CLASSIFICATION
- CONSTRUCTION TYPE: II-B
 - FIRE SUPPRESSION: NO
 - SEISMIC DESIGN: ZONE 1
 - SNOW LOAD: CONTACT LOCAL AUTHORITY
- (CONTACT LOCAL BUILDING DEPT.)

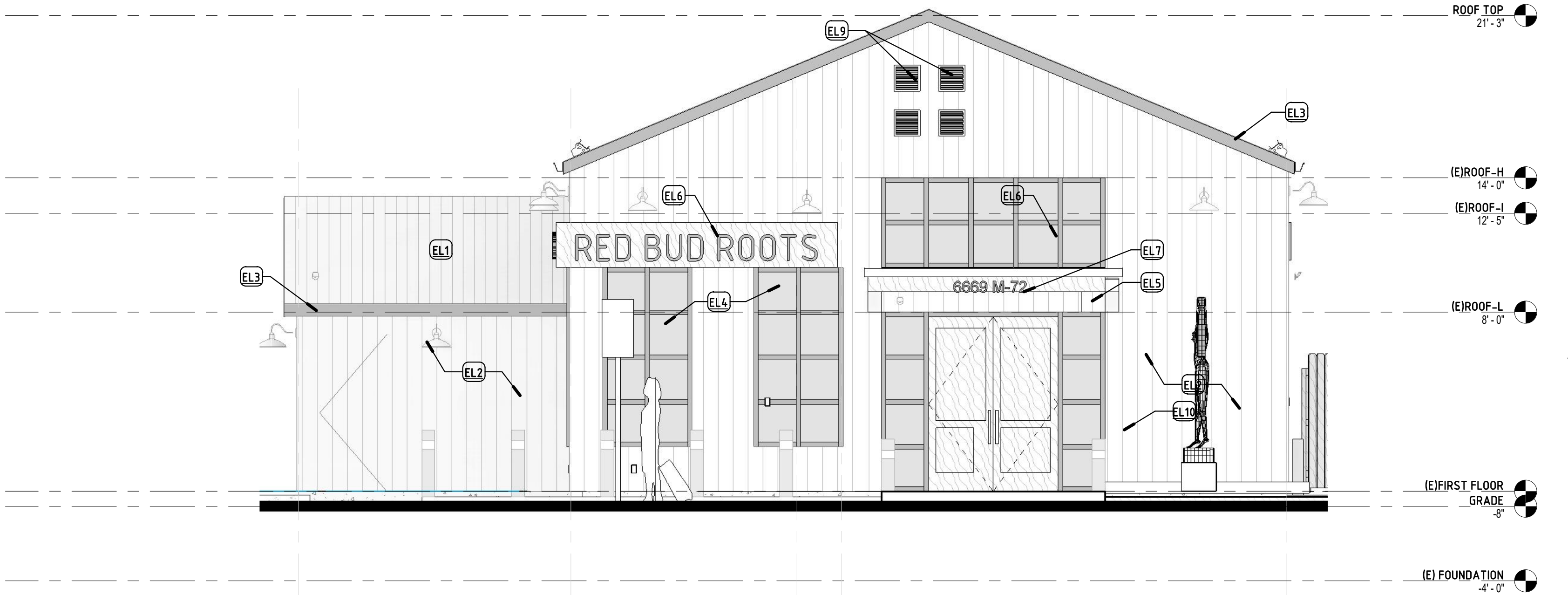
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1 WEST ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

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PROJECT

19144
RED BUD ROOTS
ACME
6669 E M-72
WILLIAMSBURG, MI 49690

PERMIT SET
EXTERIOR ELEVATIONS
03.30.2019

REV

REV	NOTE	DATE
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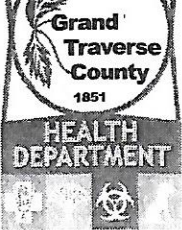
Shawn Winter

From: greg klinger <gregklinger@yahoo.com>
Sent: Tuesday, May 28, 2019 12:00 PM
To: Christopher Fanta; Shawn Winter
Subject: Well and Septic Status Form
Attachments: Grand Traverse Docs.pdf

Hey Chris,

I spoke to Brent at the Grand Traverse Health Dept and he indicated that the completed Well and Septic Status form was our confirmation. I have attached a copy of the front and back of that form. They are the first two pages of the attachment. Any questions please call Brent or me. His number is 231-995-6015. Hope that works... Thank you.

Greg Klinger



GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH
WELL & SEPTIC STATUS FORM - \$25

gklinger@redbudroots.com

change of use

☐ DEMOLITION ☐ REMODEL ☐ ADDITION ☐ HOME REPLACEMENT



Property Address: 6669 W. M-72 Williamsburg, MI

Property Tax ID: Township:

Owner Name: Redbud Roots (Chris Fanta) Owner Phone: 269-695-6405

Owner Address: 13638 Red Bud Trail W Buchanan, MI 49107

Contractor's Name: Harris Construction Contractor Phone:

Contractor's Address:

Please include a brief summary of the proposed changes to the property. For residential, please include current bedrooms, proposed bedrooms and whether or not the property has/will have a garbage disposal. For commercial, please state number of bathrooms, employees, and max customers/day.

Use: Retail

1 bathroom

7-9 employees

~40 customers/day

Chris Fanta

Signature of Owner/Contractor

5/24/2019
Date

Grand Traverse County Environmental Health WELL & SEPTIC STATUS FORM

(TO BE COMPLETED BY SANITARIAN)

☒ EXISTING PERMIT AVAILABLE PERMIT # 20249 DATE OF ISSUE: 11/5/91
☐ EXISTING PERMIT NOT AVAILABLE

- ☐ Well shall be properly plugged according to Part 127 of Act 368, P.A. 1978, as amended. Abandoned well plugging record shall be submitted to the Health Department. A new well may be required.
- ☐ Septic tank(s) and any other tank(s) associated with the wastewater system shall be pumped by a licensed septage hauler, crushed, and filled or removed. A new wastewater system may be required.
- ☒ Existing well meets current well construction code requirements and is approved for use as an:
- ☐ Private Residential Well
 - ☐ Irrigation Well
 - ☒ Public Well
- circle type: TYPE II TYPE III
- ☐ Existing septic system meets current design requirements for proposed use and meets all isolation requirements. Tank(s) Size(s): 12500BL Drained: 15x50'
 Existing septic system will serve:
- ☐ Residential home with _____ bedrooms Garbage Disposal: YES NO
 - ☒ Commercial facility with design daily flow of 395 gal/day
 - ☐ Other use with design daily flow of _____ gal/day
- ☐ Existing septic system does not meet current design requirements, but is considered "grand-fathered" for proposed use.

Comments:

Total of 395 gal/day (80 gallons for patron +
315 gallons for employees)

Mark Thibault R.S.
 Signature of Health Department Representative

5/24/19
 Date

OFFICE USE ONLY

Receipt Date: 5/24/19Receipt #: 48076Initials: Jm

GRAND TRAVERSE COUNTY HEALTH DEPARTMENT

1102 CASS
TRAVERSE CITY, MICHIGAN 49684
PHONE 616/922-4833

GT No 20249

OWNER ADVENT-AGE PROD., INC
MAILING ADDRESS 4563 M-72 NW
Williamsburg MI 49690 PH. 358-8326
TYPE OF ESTABLISHMENT BUSINESS NEW ☐ EXISTING ☐
PROPERTY LOCATION 6669 M-72 E. BATES, MI
TOWNSHIP ACME SECTION 31
COUNTY GRAND TRAVERSE DATE 10-16-91

SOIL:

SOIL TYPES TO A DEPTH OF 6'

Mudstone
Loam
Sand
10 6'

DEPTH TO GROUND WATER TABLE

N/A

NO. OF BEDROOMS <u>1</u>	NUMBER OF BATHS <u>1</u>
SEPTIC TANK SIZE <u>1200 DBL</u>	LAUNDRY <u>NO</u>
TILE FIELD <u>5</u>	DISHWASHER <u>NO</u>
TRENCH WIDTH <u>5</u>	GARBAGE DISPOSAL <u>NO</u>
LINEAL FEET	OTHER
DRAIN BED <u>15'x50</u>	WATER SUPPLY
LINEAL FEET <u>250</u>	CITY <u>WELL</u> <u>X</u>
SQUARE FEET <u>750</u>	WELL TYPE <u>4" OR 5" PITLESS</u>
TILE LINES ON <u>3' ONC</u>	DEPTH
OTHER	OLD WELL TO BE ABANDONED
	APPROVED

PERMIT TO INSTALL, CONSTRUCT OR REPLACE
EXPIRES 2 YEARS AFTER DATE OF ISSUE

ISSUED TO ADVENT-AGE PROD. INC

DATE 11-5-91 BY John Myers
HEALTH DEPT REPRESENTATIVE
011286 10-16-91 CM

RECEIPT

RECEIVED 140.00 FOR SEWAGE DISPOSAL PERMIT

FOR WELL PERMIT

AGREEMENT

I HEREBY AGREE TO COMPLY WITH REQUIREMENTS OF THE SANITARY CODE FOR THE COUNTY OF GRAND TRAVERSE, AND THE APPLICABLE LAWS OF THE STATE OF MICHIGAN IN THE INSTALLATION OF A SEPTIC TANK SEWAGE DISPOSAL SYSTEM & /OR WELL INSTALLATION ON THE ABOVE DESCRIBED PROPERTY, AND TO CONSTRUCT THE SAME ACCORDING TO THE PLANS AND SPECIFICATIONS AS DESCRIBED AND APPROVED ABOVE; OTHERWISE I UNDERSTAND, THE PERMIT WILL BE VOID.

FINAL INSPECTION REQUIRED BEFORE COVERING. ONE DAY NOTICE SHALL BE GIVEN FOR INSPECTION.

SIGNED John Hershey
OWNER OR AGENT

NON-TRANSFERABLE PERMIT

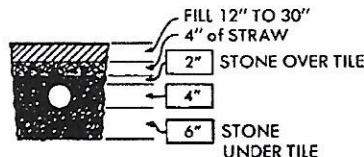
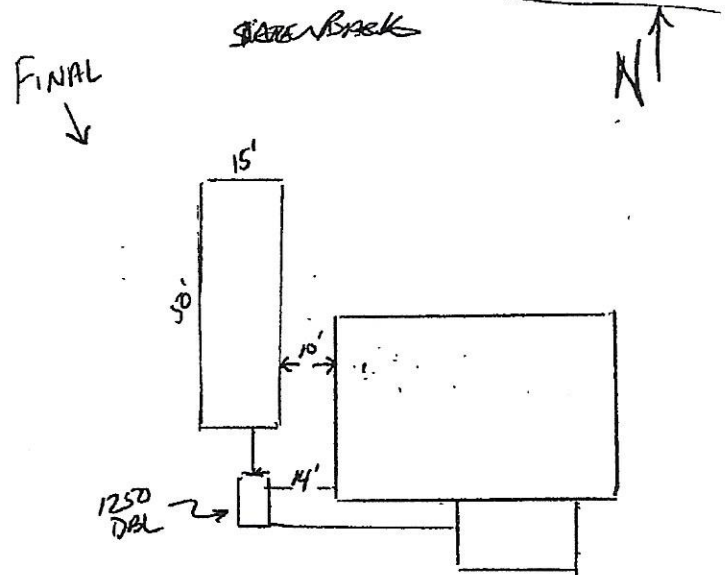
SEWAGE PERMIT ☒

WELL PERMIT ☒

28-001-014-034-30

PROPERTY TAX NO.

DIAGRAM



ALLOW 1" SLOPE PER 50 FOOT OF TILE
1/2 - 1 1/2 IN. DIA. CLEAN & OR WASHED STONE
4" OF STRAW TO BE PLACED OVER STONE

ISOLATION DISTANCES FOR PRIVATE HOMES:

SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED AT LEAST 50 FEET FROM ANY POTABLE WATER SUPPLY, WELL, SPRING, OR UNPROTECTED WATER SUCTION LINE. BURIED OR UNEXPOSED SEWERS OR PIPES THROUGH WHICH SEWAGE MAY BACK UP SHALL NOT BE LOCATED CLOSER THAN TEN (10) FEET FROM ANY POTABLE WATER WELL OR SUCTION PIPE. SUCH SEWERS OR PIPES SHALL BE CONSTRUCTED OF SCHEDULE 40 OR OTHER APPROVED (HEALTH DEPT.) MATERIAL.

CERTIFICATE OF INSPECTION (PERMIT TO COVER)

SEWER NOT IN SEPTIC TANK 1250 DBL

MANUFACTURER OF SEPTIC TANK CONC. SET

FINAL DISPOSAL 15'x50' ISOLATION DIST. WELL NOT IN

NOTES

INSPECTION BY MYERS DATE 11-20-91

CONTRACTOR MIKE HILL - KALKASKA

WELL

APPROVAL OF A PLAN AND THE INSTALLATION CANNOT BE CONSIDERED BY THE OWNER AS A GUARANTEE THAT SUCCESSFUL OPERATION IS ASSURED. THERE ARE MANY WAYS A SYSTEM CAN BE ABUSED CAUSING FAILURE.

TYPE III

GEOLOGICAL SURVEY NO.

MICHIGAN DEPARTMENT OF PUBLIC HEALTH

WATER WELL AND PUMP RECORD

28-001-014-034-30

20249
PERMIT NUMBER

1 LOCATION OF WELL		3 OWNER OF WELL: ADVENTAGE PROD, INC.	
County <u>GRAND TRAVERSE</u>	Township Name <u>Acme</u>	Fraction <u>SW 1/4 SW 1/4 SE 1/4</u>	Section Number <u>31</u>
Distance And Direction From Road Intersection		Town Number <u>28 N</u>	Range Number <u>9 E</u>
Street Address & City of Well Location <u>6665 M-72 E</u>		Address <u>4563 M-72 WILLIAMSBURG MI</u>	
Locate with "X" in Section Below		Address Same As Well Location? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Sketch Map:		4 WELL DEPTH: <u>85</u> FT. Date Completed <u>12/27/91</u> <input checked="" type="checkbox"/> New Well <input type="checkbox"/> Replacement Well	
		5 <input type="checkbox"/> Cable tool <input checked="" type="checkbox"/> Rotary <input type="checkbox"/> Driven <input type="checkbox"/> Dug <input type="checkbox"/> Hollow rod <input type="checkbox"/> Auger <input type="checkbox"/> Jetted <input type="checkbox"/>	
2 FORMATION DESCRIPTION		6 USE: <input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Type I Public <input type="checkbox"/> Type III Public <input type="checkbox"/> Irrigation <input type="checkbox"/> Type IIa Public <input type="checkbox"/> Heat pump <input type="checkbox"/> Test Well <input type="checkbox"/> Type IIb Public <input type="checkbox"/>	
THICKNESS OF STRATUM		7 CASING: <input type="checkbox"/> Steel <input type="checkbox"/> Threaded <input checked="" type="checkbox"/> Plastic <input type="checkbox"/> Welded	
DEPTH TO BOTTOM OF STRATUM		Height: Above/Below Surface <u>1</u> ft. Weight <u>500 lbs</u>	
<u>SAND & ROCKS</u>	<u>0-8</u>	Drive Shoe <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<u>CLAY</u>	<u>8-11</u>	8 SCREEN <input type="checkbox"/> Not Installed	
<u>ROCKS & GRAVEL</u>	<u>11-50</u>	Type <u>PVC</u> Diameter <u>4"</u>	
<u>CLAY & SAND & GRAVEL</u>	<u>50-79</u>	Sign. Cause <u>10</u> Length <u>5 FT.</u>	
<u>SAND</u>	<u>79-85</u>	Set between <u>80</u> ft and <u>85</u> ft	
		FITTINGS <input checked="" type="checkbox"/> K-Packer <input type="checkbox"/> Lead Packer <input type="checkbox"/> Bremer Check	
		<input checked="" type="checkbox"/> Blank above screen <u>2</u> ft Other _____	
		9 STATIC WATER LEVEL <u>40 FT.</u> ft below land surface <input type="checkbox"/> Flow	
		10 PUMPING LEVEL: below land surface	
		_____ ft after _____ hrs. pumping at _____ G.P.M.	
		_____ ft after _____ hrs. pumping at _____ G.P.M.	
		11 WELL HEAD COMPLETION: <input checked="" type="checkbox"/> Pitless adapter <input type="checkbox"/> 12" above grade <input type="checkbox"/> Basement offset <input type="checkbox"/> Approved pit	
		12 WELL GROUTED? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes From <u>0</u> to <u>25</u> ft	
		<input type="checkbox"/> Neat cement <input checked="" type="checkbox"/> Bentonite <input checked="" type="checkbox"/> Other <u>Volclay</u>	
		No. of bags of cement _____ Additives _____	
		13 Nearest source of possible contamination	
		Type <u>Septic</u> Distance <u>75 ft</u> Direction _____	
		Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
		Was old well plugged? <input type="checkbox"/> Yes <input type="checkbox"/> No	
		14 PUMP. <input type="checkbox"/> Not installed <input type="checkbox"/> Pump Installation Only	
		Manufacturer's name <u>MYERS</u>	
		Model number <u>2-W</u> HP <u>1/2</u> Volts <u>230</u>	
		Length of Drop Pipe <u>60</u> ft. capacity <u>10</u> G.P.M.	
		TYPE <input checked="" type="checkbox"/> Submersible <input type="checkbox"/> Jet	
		PRESSURE TANK	
		Manufacturer's name <u>Welltex</u>	
		Model number <u>W202</u> Pressure <u>20</u> psi	
15 Remarks, elevation, source of data, etc.		16. WATER WELL CONTRACTOR'S CERTIFICATION:	
Dig# <u>91-258313</u>		This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.	
17. Rig Operator's Name: <u>Doug Schetter</u>		<u>Phil Well Drilling</u> 0401	
		REGISTERED BUSINESS NAME REGISTRATION NO.	
		Address <u>2833 Kepner School Rd. TC</u>	
		Signed <u>Paul F. Knapp</u> Date <u>12/30/91</u>	
		AUTHORIZED REPRESENTATIVE	

D67d 2/89

GEOLOGICAL SURVEY COPY

Authority: Act 368 PA 1978
 Completion: Required
 Penalty: Conviction of a violation of any provision is a misdemeanor.

5/24/2019

Grand Traverse County Health Department
2650 LAFRANIER RD
TRAVERSE CITY, MI 49686
231-995-6051

Receipt # 48076

RECEIPT FOR FEES COLLECTED
DATE AND TYPE: 5/24/2019 - Credit Card 004106

RECEIVED FROM:
GREG KLINGER

SERVICE PROVIDED

FEE PAID

STATUS FORM OR AMEND - SEPTIC

\$12.50

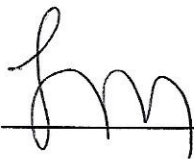
STATUS FORM OR AMEND - WELL

\$12.50

Total Amount Received:

\$25.00

Received By: LESLIE MAHER



(signature)

Additional Detail / Comments:

6669 E. M-72



GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: www.gtfire.org Email: info@gtfire.org

SITE PLAN REVIEW RECORD

ID # P-0171-M6662

DATE: 5/22/19

PROJECT NAME: Redbud Roots Medical Marijuana Provisional Center

PROJECT ADDRESS: 6669 E. M-72

TOWNSHIP: Acme

APPLICANT NAME: Christopher Fanta

APPLICANT COMPANY: Redbud Roots LLC

APPLICANT ADDRESS: 215 Post Rd.

APPLICANT CITY: Buchanan

STATE: MI ZIP: 49107

APPLICANT PHONE 773-255-3752

FAX #

REVIEW FEE: \$75.00

Reviewed By: Kathy Fordyce, Plan Reviewer

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



GRAND TRAVERSE METRO FIRE DEPARTMENT

FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: www.gtfire.org Email: Info@gtfire.org

SITE PLAN REVIEW

ID # P-0171-M6662

DATE: 5/22/19

1. 505.1 Address identification.

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

- Provide address during remodel and permanently on the M-72 side of the building according to the above criteria.

Project may proceed with the township approval process.

GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH
SOIL EROSION AND SEDIMENTATION CONTROL
SITE DETERMINATION FORM

PART 91, SOIL EROSION & SEDIMENTATION CONTROL, ACT 451 OF 1994,
AS AMENDED & GTCHD SOIL EROSION SEDIMENTATION CONTROL ORDINANCE

Office Use Only	Amount: \$ 25.00
	Receipt #: 47972

MAY 15 2019

Environmental Health

Project Type: ☐ Residential ☐ Multi-Family ☒ Commercial

Project Address: 6669 E M 72 City, Zip: WILLIAMSBURG 49690

Tax #: 28-01-014-034-30 Twp: ACME Section: 31 Town: T28N Range: 9W

Subdivision: Lot: 147 x 195

Size of Earth Change: 3,385 sq ft Start Date: 6-10-19 Completion Date: 8-10-19

Name and Distance to Nearest Lake, Stream, Drain: 1159 FT TO YUBA CREEK

Describe Project: ~~REMOVING SOIL & INSTALL ASPHALT PARKING LOT~~ REMOVING SOIL & INSTALL ASPHALT PARKING LOT

Owner's Name: CHRISTOPHER FANTA

Owner's Mailing Address: 215 POST ROAD City, State, Zip: BUCHANAN, MI 49107

Owner's Phone: 773-255-3752 Owner's email: CHRIS@REDBUDROOTS.COM

Applicant (if other than owner):

Address: City, State, Zip:

Phone: Email:

**Signature: Date: 5/15/19

DEPARTMENT USE ONLY: COMPLETED BY SANITARIAN

THE FOLLOWING CRITERIA DO NOT APPLY:

SOM PA 451, PART 91 REQUIREMENTS

GTCHD SESC REQUIREMENTS

☒ Within 500' of Lake or Stream

☒ Within 500' of Regulated Wetland

☒ Slopes of 20% or greater

☒ Disturb 1 acre or more

☒ Within 500' of a County Drain

☒ Group D Hydrologic Soils

Comments:

☒ OFFICE REVIEW ☐ FIELD REVIEW

Based on information provided by the Land Owner, the requirement for a Soil Erosion/Sedimentation Control (SESC) Permit has been reviewed in accordance with Part 91, Act 451 of 1994 and the Grand Traverse County Soil Erosion and Sedimentation Control Ordinance, as amended. Grand Traverse County Health Department, County Enforcing Agency, has determined that a SESC Permit is:

☒ NOT REQUIRED

☐ REQUIRED

Sanitarian Reviewer:

Date: 5/16/19



TECHNICAL MEMORANDUM

Red Bud Roots – 6669 E. M-72

To: Lindsey Wolf, Zoning Administrator
Jay Zollinger, Supervisor

Date: June 5, 2019

Needs to be updated

From: Robert Verschaeve, P.E.

Re: Red Bud Roots – 6669 E. M-72

This review is being provided as requested by Acme Township and is limited to storm water control measures only for the referenced project in accordance with Ordinance No. 2007-01 Acme Township Storm Water Control Ordinance. Other items such as soil erosion and sedimentation controls will need to be reviewed and permitted through the appropriate agency having jurisdiction.

The plans that were provided for review includes Sheet S1 – Drainage Plan dated 6/5/19 prepared by Kyle Kobylski, PE of Harris Builders, LLC.

The plans show a parking lot addition to an existing building located at 6669 E. M-72. The proposed additional paved parking extends north from the existing driveway and is located along the north side of the existing building. A new stormwater retention/infiltration basin is proposed between the north property line and the new parking area to handle the storm water runoff generated from the proposed improvements. We have reviewed the USCS soils survey and the soils present on site are Kalkaska Loamy Sand. Areas for the building, parking lot, and infiltration basin were scaled from the plans and found to match the areas used in the calculations included on the plans.

Since the proposed plans indicate an infiltration basin to handle storm water, this review is thus completed with respect to the Infiltration/Retention System section of the Ordinance. The items listed and reviewed from this section are as follows:

a. Physical Feasibility

The proposed infiltration basin is appropriate for the soils identified by the presented soil survey.

Design Criteria

i. Volume

The calculations show the required calculations for back to back 100-year, 24-hour rain events since there is no outlet identified for the basin. No infiltration is used in the calculations. The volume provided by the basin is noted as 6,364 cft and the minimum required is 6,033 cft.

ii. Maximum Drain Time

Calculations are noted that indicate a maximum basin depth of 3.12 feet is allowed based on 72 hours at the infiltration rate of .52 in/hour defined in the Ordinance. This is the depth provided in the basin.

iii. Underground Infiltration & Retention

The proposed system is not underground and the requirements of this section are met.

iv. Construction

Applicant is advised of the general requirements of this section to use low earth pressure equipment and to avoid compacting soil in the basin area.

v. Snow Storage

Snow storage shall not displace more than 50% of the storage volume or impeded drainage through the system. The applicant has identified snow storage areas along the south edge of the basin and are advised of the 50% displacement requirement.

b. Treatment Criteria

The requirement for this site is a sediment forebay or equivalent. A sediment forebay is proposed for this site.

c. Controls

No inlet pipes are proposed. Runoff is directed to the sediment forebay via an asphalt curb.

d. Erosion Control

Typical temporary and permanent erosion controls are shown on the plans. A soil erosion permit will be required by Grand Traverse County.

e. Geometry

The proposed geometry meets this section.

f. Public Safety

The side slopes of this basin are 3H:1V and meet the requirements of the section. The water depth is noted as 3.12 feet. Water depths over 5 feet would require special treatments of either a safety ledge or fencing. No special treatments are required.

g. Maintenance

The basin appears accessible for maintenance from the parking lot. Sediment is required to be removed from infiltration basins when it reaches a depth of 50% of the forebay depth or 12 inches, whichever is less. A note is included on the plan identifying that the basins will be inspected and cleaned of silt and debris each spring and fall and that the sediment will be cleaned when required.

The storm water controls for this site are typical for similar sites that can be found in Acme Township and Grand Traverse County. The storm water control plan for the proposed parking expansion of this existing building can be approved.