



**ACME TOWNSHIP PLANNING COMMISSION MEETING**  
**ACME TOWNSHIP HALL**  
**6042 Acme Road, Williamsburg MI 49690**  
**August 12<sup>th</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 pm**

**ROLL CALL: Members present:** K. Wentzloff (Chair), S. Feringa (Vice Chair), M. Timmins, D. Rosa, D. VanHouten, D. White

**Members excused:** B. Balentine

**Staff present:** L. Wolf, Planning & Zoning Administrator, S. Winter, Planning Consultant Beckett & Raeder, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:00 pm

Brian Kelley, Acme Resident, commented on public comments in the minutes (Submitted written comments to be added to the packet)

Bob Garvey, 7490 Lautner, commented he was opposed to the Veliquette campground proposal

Edith Ziebart, 6981 Deepwater Pt. Rd., commented she was opposed to the Veliquette campground proposal

Limited Public Comment closed at 7:10 pm

**B. APPROVAL OF AGENDA:**

**Motion by Timmins to approve the agenda as presented with the addition of Watershed Center's letter to G. 1. Correspondence supported by Rosa. Motion carried unanimously.**

**C. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

**1. RECEIVE AND FILE**

a. Township Board Draft Regular Meeting Minutes 07.02.19

b. Parks & Trails Committee Draft Meeting Minutes -none/meeting cancelled

**2. ACTION:**

a. Approve Draft Planning Commission Meeting Minutes 05.13.19

b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19

c. Approve Draft Planning Commission Meeting Minutes 07.08.19

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR**

Brian Kelley requested to remove under 2. Action, a. Approve Draft Planning Commission Meeting Minutes 05.13.19 and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.2019.

**Motion by Feringa to approve the Consent Calendar with only under 1. Receive and File, a. and under 2. Action c., support by Timmins. Motion carried unanimously.**

Brian Kelley would like to have included in the packet the restored summary of the public comments from Jim Heffner to the 05.13.2019 and his own to the 05.21.19 meetings.

**G. CORRESPONDENCE:**

**1. Letter from Heather Smith, Grand Traverse Baykeeper, The Watershed Center, dated 08.12.19**

Wentzloff read the letter with comments from the Watershed Center regarding the proposed Nels

Veliquette campground to have in the record. They have concerns on the setbacks and dog park being near the wetlands causing potential bacterial contamination.

**H. PUBLIC HEARINGS:** None

**I. OLD BUSINESS:** None

**J. NEW BUSINESS:**

**1. Meeting minute procedures going forward**

Wentzloff reviewed the process of public comment for the Planning Commission Meeting Minutes. The minutes will note the person's name, address and a brief summary to capture the sentiment of the comment and will not be a detailed account of oral comments. It was agreed correspondence needs to be received and added to the agenda, if it is emailed, or hand delivered to the Zoning Administrator/and or Planning Commission chair no later than 4:00 the day of the meeting. This is so the communication can be distributed to the Planning Commission with enough time for reviewing prior to the meeting.

**2. Nels Veliquette: Preliminary review campground proposal**

Nels Veliquette, Cherries R Us Inc., 6137 Quarterline Rd., Kewadin, explain he is proposing a 125-camp site, dog park, and picnic pavilion, located on 68 acres on the corner of Brackett and Lautner Roads in Acme which is in the A-1 district. He along with Doug Mansfield with Mansfield Land Use Consultants in Traverse City, presented a layout of the proposed campground and answered questions on the sewer, entrance into the campground, wetlands, landscape buffers and potential ownership of individual sites.

The intent at this meeting is for Mr. Veliquette to have the opportunity to gather feedback from the commissioners if the campground could be a potential use for the property.

**3. PD 2019-01: Lormax Stern Pre-Application and Review of Qualifications**

Winter informed an application was submitted from Daniel Stern of Lormax Stern Acme LLC, for a PD pre-application review on the site located at 6455 US 31 North (the former K-Mart property) which he has purchased. The PD request is to create a development of a variety of uses to include restaurants, café's, public park with connectivity to the TART trail system, retail business, indoor self-storage, and potential future fire station. Daniel Stern with Mike Baily from MTB Partners, showed a layout of their plan of the proposed property. Winter explained the planning review report was included in this packet and outlines the required standards for the project to qualify for a PD, along with corresponding analysis. The application as submitted does not satisfy all the items nor the minimum five of the nine objectives. Based on the findings of the review, the application does not meet the minimum criteria of qualifications for a complete PD application at this time.

After reviewing the PD and a discussion with the applicants, Winter suggested to have a separate meeting with them, himself, Wolf and Wentzloff to discuss possible uses for the property that would fit into the Township's Master Plan. Wentzloff suggested to Mr. Stern he should also contact TART trails to get their opinion on the public park.

**4. 2019-07: Acme North Operating Provisioning Center Site Plan Review**

Winter informed the Applicant is proposing to build a 4,544 sq. ft structure at 7053 E M-72, as a licensed medical marihuana provisioning center. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. The property is located at a shared driveway off M-72 that is also utilized by Tractor Supply Co. The proposed use is consistent with the intent and purpose of the zoning district as well as the future land use category. The Planning Consultant's report is enclosed in the packet and outlines the required standards for site plan review. David Cacioppo, PCS Services LLC, Woodhaven, MI, who is doing the construction was available for questions and confirming the conditions that needed to be met.

**Motion by Timmins to approve Site Plan Review 2019-07 for the construction of a 4,544 square-foot medical marihuana provisioning center to be located at 7053 E M-72, Williamsburg, MI 49690, with the following conditions that shall be met:**

1. **Parking lot poles shall be limited to fifteen (15) feet in height, measured to the top of the luminaire**
2. **Wallpack lighting shall be limited to locations above exit/entry doors and loading doors**
3. **Parking lot lights and decorative gooseneck lighting on the façade be turned off outside the business hours of operation when no customers or staff are present.**
4. **Before issuing a land use permit:**
  - a. **The Applicant shall submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor costs to install the plantings on the landscape plan, with the costs prepared by a professional landscaper; and**
  - b. **Submit a printed set of full-sized plans sealed by a licensed engineer, architect, or landscape architect and signed by the Applicant and Planning Commission Chair.**
5. **Remove the curve cut on the east side of the parking lot**

**Supported by Rosa. Motion carried unanimously.**

**4. Election of Officers**

Wentzloff opened nominations for election of officers. Timmins nominated Wentzloff for Chair. Wentzloff accepted.

**Roll Call Motion carried by Feringa, Rosa, VanHouten, White, Timmins. Wentzloff recused.**

White nominated Feringa for Vice Chair. Feringa accepted.

**Roll Call Motion carried by Wentzloff, Rosa, VanHouten, White, Timmins. Feringa recused.**

White nominated Timmins for Secretary. Timmins accepted.

**Roll Call Motion carried by Wentzloff, Feringa, Rosa, VanHouten, White. Timmins recused.**

**K. PUBLIC COMMENT & OTHER PC BUSINESS:** Opened at 9:00 pm  
Brian Kelley, Acme Resident, commented on the change of the meeting minutes.

Richard Rudlaff, TBRV Resort, voiced his concerns on the Veliquette campground.

Public Comment closed at 9:05 pm

1. **Planning & Zoning Administrator Report** – Wolf informed there is an administrative review project for storage of materials for an individual and requested an available date from Feringa and Wentzloff to communicate with the individuals.
2. **Township Board Report** – White reported the board will be discussing at the August meeting the Day Care Center and plans for the supervisor leaving.
3. **Parks & Trails Committee Report** – No report

**ADJOURN: Motion to adjourn by Timmins, supported by VanHouten. Meeting adjourned at 9:09 pm**

Dear Planning Commissioners,

I am emailing to comment on the Nels Veliquette Campground that is scheduled for discussion at the tonight's Planning Commission meeting. The Watershed Center advocates for clean water in Grand Traverse Bay and acts to protect and preserve its watershed. I understand that this particular project may be conceptual in nature as tonight's discussion is a preliminary review. However, I want to identify our initial concerns that may be considered by the Planning Commission.

We are pleased to see that the proposed structures are setback from Yuba Creek. Site plans included in the packet do not indicate that the parcel contains wetlands. However, the approximate extent of wetlands included in the Michigan Department of Environment, Great lakes, and Energy's [Wetland Map Viewer](#) suggests that the area flanking Yuba Creek, in the eastern portion of the site, may be wetland. Acme Township's Stormwater Control Ordinance states that "soil disturbance and removal of natural ground vegetation and tree roots within ... 25 ' of a regulated wetland shall be prohibited unless approved by the Drain Commissioner" (Section 2 (D)). Retaining vegetation in and around wetlands helps preserve wetland functions such as water filtration, groundwater recharge, fish and wildlife habitat and soil stabilization. We encourage the Planning Commission to inquire about onsite wetlands.

We understand that a dog park is proposed about 200ft from Yuba Creek. Our concerns with dog parks near a waterway are related to potential bacterial contamination issues related to fecal matter that is not properly disposed of. We encourage the planning commission to ensure the park dispenses waste bags and posts appropriate signage indicating fecal disposal best practices to encourage responsible disposal. Requiring deep-rooted, native vegetation between the edge of the dog park and Yuba Creek will help alleviate disposal issues.

As previously stated, we are pleased that much of the site near Yuba Creek will remain open space. Thank you for exploring our concerns.

Thank you,

**Heather Smith**

Grand Traverse BAYKEEPER®

The Watershed Center Grand Traverse Bay

13272 S. West Bay Shore Dr. | Traverse City, MI 49684

231.935.1514 x 3 | [hsmith@gtbay.org](mailto:hsmith@gtbay.org)

1994-2019: Celebrating 25 years of protecting clean water



To: Acme Township Planning Commission  
From: Brian Kelley

August 12, 2019

Good evening,

**As you may know, I have always brought a written version of my public comments since attending my first township meeting in 2013. I do that for clarity. It has never been an issue until now. I started that when meeting minutes did not capture the comment of a citizen at my first meeting.**

**The proposed public comment policy in the packet tonight intends to make public comments verbal only.**

**Another change is a 4pm cutoff for written communication. The proposed policy states that anything in writing after 4pm - apparently including my public comments - will be posted in the packet for the next meeting, one month later.**

**Unfortunately, we can't always get correspondence in early. Life intrudes. Sometimes we must send an email later. Sometimes the Zoning Administrator is not available to answer questions on Monday before a meeting. Look at what was allowed to happen with late plan materials for the pot provisioning application at the last meeting. That wasn't just a violation of rules or policy, it violated hard deadlines that are required by the Acme Zoning ordinance.**

**In the past citizens have delivered their own copies prior to the meeting. Or they have asked the Secretary, Nancy, who works until 6pm, to make copies and set them on the table for the meeting. 35 members of the public attended the February PC meeting where the Engle PUD was discussed. Many comments spoken and then submitted in writing.**

**Why would that no longer be allowed? Who wants to keep citizens from putting the clarity of their words down on paper?**

**No reason has been given for this change. Except at the last meeting, when the Chair stated that the previous rule to eliminate all public comments from minutes was to target a specific member of the public. She then said twice that it was at the**

**request of the board. Except that the board has never discussed this. Both of those statements can be heard on the recording.**

**While I support having a documented policy, I ask you to discuss these proposed changes and find a better solution to these so-called problems.**

**Thank you,**

**Brian Kelley**





**ACME TOWNSHIP PLANNING COMMISSION MEETING**  
**ACME TOWNSHIP HALL**  
**6042 Acme Road, Williamsburg MI 49690**  
**August 12<sup>th</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE**

**ROLL CALL:**

- A. LIMITED PUBLIC COMMENT:** Members of the public may address the Commission regarding any subject of community interest during public comment periods by filling out a Public Comment Card and submitting it to the Secretary. Public comments are limited to three minutes per individual. Comments during other portions of the agenda may or may not be entertained at the moderator's discretion
- B. APPROVAL OF AGENDA:**
- C. INQUIRY AS TO CONFLICTS OF INTEREST:**
- D. SPECIAL PRESENTATIONS:**
- E. CONSENT CALENDAR:** The purpose of the consent calendar is to expedite business by grouping non-controversial items together for one Commission motion without discussion. A request to remove any item for discussion later in the agenda from any member of the Commission, staff or public shall be granted.
- 1. RECEIVE AND FILE**
- a.** Township Board Draft Regular Meeting Minutes 07.02.19
- b.** Parks & Trails Committee Draft Meeting Minutes -none/meeting cancelled
- 2. ACTION:**
- a.** Approve Draft Planning Commission Meeting Minutes 05.13.19
- b.** Approve Draft Special Planning Commission Meeting Minutes 05.21.19
- c.** Approve Draft Planning Commission Meeting Minutes 07.08.19
- F. ITEMS REMOVED FROM THE CONSENT CALENDAR**
- 1.** \_\_\_\_\_
- 2.** \_\_\_\_\_
- G. CORRESPONDENCE:**
- 1.** None received as of 8.5.2019
- H. PUBLIC HEARINGS:**
- 1.** None
- I. OLD BUSINESS:**
- 1.** None
- J. NEW BUSINESS:**
- 1.** Meeting minute procedures going forward
- 2.** Nels Veliquette: Preliminary review campground proposal
- 3.** PD 2019-01: Lormax Stern Pre-Application and Review of Qualifications
- 4.** 2019-07: Acme North Operating Provisioning Center Site Plan Review
- 5.** Election of Officers
- K. PUBLIC COMMENT & OTHER PC BUSINESS**
- 1.** Planning & Zoning Administrator Report – Lindsey Wolf
- 2.** Township Board Report – Doug White
- 3.** Parks & Trails Committee Report – Marcie Timmins

If you are planning to attend and are physically challenged, requiring any special assistance, please notify Cathy Dye, Clerk, within 24 hours of the meeting at 938-1350.

**ADJOURN:**



# DRAFT UNAPPROVED

## ACME TOWNSHIP REGULAR BOARD MEETING 3593 Bunker Hill Rd, Williamsburg MI 49690 Will be held in the old Acme Laundry Tuesday, July 2, 2019 7:00 p.m.

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 p.m.**

**ROLL CALL: Members present:** J. Zollinger, C. Dye, A. Jenema, J. Aukerman, D. White, P. Scott, D. Nelson

**Members excused:** None

**Staff present:** L. Wolf, Planning & Zoning Administrator, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:01 pm

Brian Kelley, Acme resident, commented in favor of Shore Beach Road transfer.

Tom Phillips, 2986 Wild Juniper Trail, commented on reducing speed from 55 mph to 45 mph on US 131 between Five Mile and Holiday Road.

Limited Public Comment closed at 7:06 pm

**B. APPROVAL OF AGENDA:**

Zollinger said the topic under K. New Business, 1. Shore Beach Road Transfer from GTCRC to Acme Township will not be discussed. Additional research needs to be completed and then will be added to a future meeting's agenda.

**Motion by Aukerman to approve the agenda as presented with the correction of omitting under K. New Business, 1. Shore Beach Road Transfer from GTCRC to Acme Township, supported by Scott. Motion carried unanimously.**

**C. APPROVAL OF BOARD MINUTES: 06/04/19**

**Motion by Dye to approve the board meeting minutes of 06/04/19, supported by White. Motion carried unanimously.**

**D. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**E. REPORTS**

- a. Clerk:** Dye reported her and Cristy Danca attended the Michigan Association of Municipal Clerks Conference in Kalamazoo. She gave a flyer from the conference on the 2020 Census Bureau with information on how people will be able to complete the census form. Residents can go online and for those that don't, there will be door-to-door takers. The roll out will be March 2020.
- b. Parks:** Jenema reported the swings for the park have not been ordered. She will be reaching out to the donator to get the payment before ordering. The Parks and Trail Committee have agreed on the type of park signs and Ryan Lamott will be getting bids for a large one with the park name and one with highlights of park rules. Zollinger informed the existing park sign is in bad shape and needs to come down before a new one is installed. The board agreed to remove it.
- c. Legal Counsel – J. Jocks:** No report
- d. Sheriff:** A report of the service calls for May was submitted
- e. County:** G. LaPointe reported the airport is looking at a new means of governance models to create an authority and appointing a board with candidates from Grand Traverse and Leelanau

# DRAFT UNAPPROVED

areas. He gave an explanation of the city's Tax Increment Financing that was created in 1997 for 30 years and is used by the DDA District, which is Traverse City downtown, old downtown and surrounding areas. The concept is to defer the money keeping the TIF frozen until the 30-year period is over. It was discussed to extend the period or create a new one.

**F. SPECIAL PRESENTATIONS:** None

**G. CONSENT CALENDAR:**

**1. RECEIVE AND FILE:**

- a. Treasurer's Report
- b. Clerk's Revenue/Expenditure Report and Balance Sheet
- c. RecycleSmart 2019
- d. Draft Unapproved meeting minutes
  1. Planning Commission 06/10/19

**2. APPROVAL:**

1. Accounts Payable Prepaid of \$112,145.96 and Current to be approved of \$30,055.09 (Recommend approval: Clerk, C. Dye)

**Motion by Nelson to approve the Consent Calendar as presented, supported by White. Roll Call motion carried unanimously.**

**H. ITEMS REMOVED FROM THE CONSENT CALENDAR:** None

**I. CORRESPONDENCE:**

1. Letter from Pezzetti, Vermetten & Popovicts, P.C.
2. 2018 Annual Drinking Water Pass

**J. PUBLIC HEARING:** None

**K. NEW BUSINESS:**

**~~1. Shore Beach Road Transfer from GTCRC to Acme Township - Omitted~~**

To be discussed at future meeting after additional research is completed.

**1. Approval of Acme Township Police Power, Parks Ordinance - restated**

Zollinger explained this is a Police Power Parks Ordinance that has been updated with items like parking, paths, and Woodland Acres.

**Motion by Jenema to approve the Zoning Ordinance Amendment 2019-050 for township parks, supported by Aukerman. Motion carried unanimously.**

**2. Approval of Updated Acme Township Fee Schedule**

Zollinger informed item lines of Demolition Permit and Boat Launch were added to the Fee Schedule.

**Motion by Jenema to approve Acme Township Fee Schedule as presented and updated on 07/02/2019, supported by White. Motion carried by 6 (Zollinger, Dye, Jenema, Aukerman, White, Nelson), opposed by 1 Scott.**

**3. Supervisor annual appointments to various committees**

Zollinger explained the appointments are recommendations to the Acme Board for terms ending 2022. Planning Commission – Dan Rosa, Parks & Trails Committee – Barb Hefflin, Farm Land Committee - Dave Hoxie and Rick Saylor, and the Zoning Board of Appeals will be recommended by Planning Commission members.

**Motion by Jenema to approve the list as presented on 2022 appointments for Planning**



# DRAFT UNAPPROVED

**Commission, Parks & Trails and Farm Land Committees, supported by Nelson. Motion carried unanimously.**

**4. Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10 Shawn Winter/Lindsey Wolf)**

Zollinger explained this amendment to the ordinance was rewritten to make the process available to the public and the township not having to manage. The amendment is written stating it is between the developer and seller on the property rights. The rights allow the developer to give more density on the property.

**Motion by White to adopt Zoning Ordinance Amendment 050 Planned Development-Transfer of Development rights as presented, supported by Jenema. Motion carried unanimously.**

**5. Approval of new street names for the Koti project (Dan Kelly)**

**Motion by Nelson to approve street names as presented for the Koti Project, supported by White. Motion carried unanimously.**

**L. OLD BUSINESS: None**

**PUBLIC COMMENT & OTHER BUSINESS THAT MAY COME BEFORE THE BOARD:**

Zollinger submitted his resignation to be effective October 11, 2019. An ad will be put out for his replacement and applicants will be presented at a public meeting.

Gordie LaPointe commented Zollinger's resignation and appreciates all he has done. He inquired on the walking trail at Yuba Park. Jenema let him know the Conservatory worked on it last year but now their time has expired to continue with the trail.

Brian Kelley thanked Zollinger for his dedication. He asked for a review of the sign ordinance now that businesses are using more advanced LED brighter lighting.

D. Nelson would like Zollinger's replacement to have the same mutual respect with other board members as he has done.

Tom Phillips commented on Zollinger ability to provide the history of the township and thanked him for his service.

**ADJOURN: Meeting adjourned 8:22 pm**



**ACME TOWNSHIP PLANNING COMMISSION MEETING  
ACME TOWNSHIP HALL  
5320 US-31 N, Williamsburg MI 49690  
(Former Acme Laundromat at US-31 & Bunker Hill Rd)  
May 13<sup>th</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:02 PM**

**ROLL CALL: Members present:** K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

**Members excused:** M. Timmins

**Staff present:** S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** None

**B. APPROVAL OF AGENDA:**

**Motion by Feringa to approve the agenda as presented, supported by Rosa. Motion carried unanimously.**

**C. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

**1. RECEIVE AND FILE**

- a.** Township Board Draft Regular Meeting Minutes 04.02.19
- b.** Township Board Draft Special Meeting Minutes 04.11.19
- c.** Township Board Draft Special Meeting Minutes 04.29.19

**2. ACTION:**

- a.** Approve Draft Planning Commission Meeting Minutes 04.08.19

**Motion by Balentine to approve the Consent Calendar as presented, supported by VanHouten. Motion carried unanimously.**

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR:** None

**G. CORRESPONDENCE:** None

**H. PUBLIC HEARINGS:** None

**I. OLD BUSINESS:**

**1. Master Plan Public Comment Update**

Winter stated the Township has received two public comments related to the draft Community Master Plan. The first is from Paul Thwing from TCAPS concerning the future status of the former Bertha Vos School facility, currently they don't have a definite plan for its future use.

The second is regarding a parcel east of Bartlett Rd, south of a county-owned recreational parcel at the corner of Bunker Hill Rd and Bartlett Rd, and north of the county-owned parcel where the VASA Trailhead is located. The property is currently zoned R-3 Urban Residential. Given the recreational uses of the lands surrounding the property, the draft Community Master Plan has proposed changing the future land use category on this property from "Residential – Urban" to "Conservation / Recreation". This creates a continuous zone of "Conservation / Recreation"

future land use with the previously existing on the northside of Bunker Hill Rd. The future land use classification does not constitute a zoning change. Winter and the Supervisor met with the property owner to discuss his concerns and it will be talked about at the public hearing next month.

**2. Zoning Ordinance Amendment 050 – Planned Development**

Winter has asked to change the scheduled May public hearing for the proposed zoning ordinance to the June 10 Planning Commission meeting.

**Motion by Feringa to set a public hearing for June 10, 2019 to consider recommending approval of Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights, supported by Balentine. Motion carried unanimously.**

**J. NEW BUSINESS:**

**1. SPR 2019-04 – Sky mint Medical Marihuana Provisioning Center (PZR 2019-07)**

Winter informed an application has been received to construct a medical marihuana provisioning center at 6140 N Arnold Rd. This is a use allowed by right in the B-4: Material Processing and Warehousing District. The Applicant does possess a local license for the facility type at this location. Stephanie Space, the architect and Will Mitchell with Bob Mitchell & Associates PC, were in attendance for any questions.

The proposal includes the construction of a 3,456 sq. ft facility on a vacant piece of land located behind the Tractor Supply Company. Most of the zoning ordinance standards have been met, with exceptions related to landscaping, exterior lighting and storm water management. None of the outstanding items are determined by staff to be substantial enough to prevent approval but can be required to be rectified prior to issuing a land use permit.

**Motion by Feringa to approve Site Plan Review application SPR 2019-04, submitted by Bob Mitchell and Associates P.C., on behalf of Green Peak Innovations dba Sky mint, to construct and operate an approximately 3,456 square foot licensed medical marihuana provisioning center located at 6140 N Arnold Rd, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit:**

- 1. Revise the landscape plan to meet the native, non-invasive plant species, treed island, and right-of-way screening requirements of the Zoning Ordinance and as outlined in Planning & Zoning Report 2019-07, and to be approved by the Planning & Zoning Administrator and/or Township officials.**
- 2. Submit a completion bond, cash deposit, letter of credit, or certified check in the amount of the approved landscape plan as determined by a professional landscaper.**
- 3. Remove the wall pack lighting on the south and north facades of the building;**
- 4. All exterior lighting shall be shut off outside the hours of operation once the staff is no longer present except for the wall packs on the east façade, and one soffit light above the south entry and one soffit light above the west exit.**
- 5. Pending on the MDOT permit for the storm water discharge within the railroad right-a-way.**
- 6. The final set of site plan drawings be updated to reflect the applicable conditions, stamped by a licensed engineer, architect, or landscape architect, and signed by the Planning Commission Chair and Applicant. Supported by Rosa. Motion carried unanimously.**

**K. PUBLIC COMMENT & OTHER PC BUSINESS**

Public comment opened at 7:27 pm

Jim Heffner, 4050 Bayberry Lane

Public comment closed at 7:33 pm

1. **Planning & Zoning Administrator Report – Shawn Winter**

There will be a special Planning Commission meeting held on Tuesday, May 21, 2019 at 7:00 pm for a SUP minor amendment and site plan review for modifications at Flintfields Horse Park. Two other site plan reviews for provisioning centers in the B-4 district are in the works. They intend to be on the June 10, 2019 agenda. There has been no additional movement on the RV Park project to date. Bayside Park Opening Ceremony will be held on Saturday, May 18, 2019 from 12:30 – 1:30 pm. The net climber playground structure has been installed. On June 10 there will be two public hearings one for the rescheduled zoning ordinance amendment and the other for adopting the Master Plan.

2. **Township Board Report:** White reported the board is doing a budget review.

3. **Parks & Trails Committee Report:** Winter informed the initial review was received for the DNR Trust Fund Grant for the trail with a few items to be completed by May 15. The MDOT rail is needed by October and is being worked on. A 2% grant for trail amenities will be submitted this month.

**ADJOURN: Motion to adjourn by Feringa, supported by Balentine. Meeting adjourned at 7:42 pm**



**ACME TOWNSHIP PLANNING COMMISSION MEETING**  
**ACME TOWNSHIP HALL**  
**3593 Bunker Hill Rd, Williamsburg MI 49690**  
**(Former Acme Laundromat at US-31 & Bunker Hill Rd)**  
**May 21<sup>st</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 PM**

**ROLL CALL: Members present:** K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

**Members excused:** M. Timmins

**Staff present:** S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:01 pm

Brian Kelley, Acme Resident (Submitted written comments to be added to packet)

Richard Rudlaff, 12701 Mastique Beach Blvd., Fort Myers, Fl., voiced his concerns regarding the RV Park expansion and stormwater runoff.

Limited Public Comment closed at 7:07 pm

**B. APPROVAL OF AGENDA:**

**Motion by Feringa to approve agenda as presented, supported by White. Motion carried unanimously.**

**C. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

1. **RECEIVE AND FILE:** none
2. **ACTION:** none

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR:** None

**G. CORRESPONDENCE:** None

**H. PUBLIC HEARINGS:** None

**I. OLD BUSINESS:** None

**J. NEW BUSINESS:**

**1. SUP 2019-01 Minor Amendment for Flintfields Horse Park (PZR 2019-08)**

Winter explained this is an application from Flintfield for a minor amendment to a special use permit to shift two existing show rings and adding an adjacent warmup ring. The shift would cause the rings to encroach into the existing drainage basin for the property, so this calls for refiguring and enlarging the basin. Additionally, it is for a new pavilion to be approved under the standards of the Zoning Ordinance. The Pavilion had been constructed without prior approval. Gosling-Czubak has reviewed the proposed changes to the previously approved use, to include the reconfiguring of the arena layout and verified the plans are consistent with modifications of adding 8,778 cubic feet to the stormwater basin to increase to 20,095 cubic feet. A Soil Erosion and Sedimentation Control Permit has been submitted and reviewed. There is correspondence from Grand Traverse Metro Fire Department that they have received a copy of the site plans for

review and are also working on emergency access for areas around the site with Dusty Christensen from Mansfield Land Use Consultants in Traverse City, a consultant for the horse show. Winter suggested the horse show do a master plan of future uses and any changes that will be done.

**Motion by Balentine to approve Special Use Permit minor amendment application SUP 2019-01, submitted by Mansfield Land Use Consultants, on behalf of Traverse City Horseshows LLC, to shift two existing show rings, construct a warmup ring adjacent, to add a pavilion over an existing spectator viewing area, and to reconstruct the storm water drainage basin as necessary and indicated on the submitted site plans, for the Great Lakes Equestrian Festival operated at Flintfields Horse Park, 6535 Bates Rd, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit: Submit approval of the site plan by the Grand Traverse Metro Fire Department, and the final set of site plan drawings be updated to reflect the applicable conditions, stamped by a licensed engineer, architect, or landscape architect, and signed by the Planning Commission Chair and Applicant, supported by White. Motion carried unanimously.**

**K. PUBLIC COMMENT & OTHER PC BUSINESS:** Opened at 7:35 pm  
 Brian Kelley, Acme Resident  
 Public Comment closed at 7:38 pm

1. **Planning & Zoning Administrator Report – Shawn Winter**  
 Winter reported Lindsey Wolf will be the new Planning & Zoning Administrator and is starting June 17. She has a background in zoning and planning.
2. **Township Board Report – Doug White: No report**
3. **Parks & Trails Committee Report:** Wentzloff reported the Bayside Park dedication was held and it was announced Iron Belle Trail Fund pledged to match half of what is needed for the Tart Trail if the DNR Trust Fund Grant is received. Winter informed the board approved and signed the application for the Tribal 2% Grant for estimated \$39,000 to go towards trails amenities.

**ADJOURN: Motion by Balentine to adjourn, seconded by VanHouten. Meeting adjourned at 7:42 pm**





**ACME TOWNSHIP PLANNING COMMISSION MEETING**  
**ACME TOWNSHIP HALL**  
**3593 Bunker Hill Rd, Williamsburg MI 49690**  
**(Former Acme Laundromat at US-31 & Bunker Hill Rd)**  
**July 8<sup>th</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 pm**

**ROLL CALL: Members present:** K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

**Members excused:** M. Timmins

**Staff present:** L. Wolf, Planning & Zoning Administrator, S. Winter, Planning Consultant Beckett & Raeder, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:01 pm

Brian Kelley, Acme Resident (Submitted written comments to be added to the packet)

Richard Radlaff, Traverse Bay RV Resort, voiced the importance of public comments in the meeting notes. He stated on the northern end of the Traverse Bay RV Resort are tiny houses that were approved by an amendment to the condominium. He questioned who was paying for the taxes on these units since they are rented out.

Rob Evina, 6075 Arabian Drive, supports the child care center and feels this would be good to occupy in this building and a great addition for the community.

Limited Public Comment closed at 7:10 pm

**B. APPROVAL OF AGENDA:**

**Motion by White to approve the agenda as presented, supported by Balentine. Motion carried unanimously.**

**C. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

**1. RECEIVE AND FILE**

- a. Township Board Draft Regular Meeting Minutes 06.04.19
- b. Parks & Trails Committee Draft Meeting Minutes 06.21.19

**2. ACTION:**

- a. Approve Draft Planning Commission Meeting Minutes 05.13.19
- b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19
- c. Approve Draft Planning Commission Meeting Minutes 06.10.19

Feringa requested to remove under 2. ACTION, c. Approve Draft Planning Commission Meeting Minutes 06.10.19.

**Motion by Feringa to approve the Consent Calendar with removal of Item 2. ACTION, c. Adopt Planning Commission Meeting Draft Minutes 06.10.19, supported by White. Motion carried unanimously.**

**Brian Kelley requested to remove under 2. ACTION, a. Approve Draft Planning Commission Meeting Minutes 05.13.19 and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.2019.**

**Motion by Feringa to approve the Consent Calendar with removal of Item 2. ACTION, a. Approve Draft Planning Commission Meeting Minutes 05.13.19, b. Approve Draft Special Planning Commission Meeting Minutes 05.21.2019 and c. Approve Draft Planning Commission Meeting Minutes, supported by Balentine. Motion carried unanimously.**

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR**

1. Remove Draft Planning Commission Meeting Minutes 06.10.19
2. Remove Draft Planning Commission Meeting Minutes 05.13.19
3. Remove Draft Special Planning Commission Meeting Minutes 05.21.19

Feringa stated he was absent from the meeting, so he abstained from approval of the 06.10.19 Draft Planning Commission Meeting minutes.

**Motion by White to approve the Consent Calendar with Draft Planning Commission Meeting Minutes 06.10.19, supported by VanHouten. Motion carried by 5 (Wentzloff, Rosa, VanHouten, Balentine, White), abstained by 1 Feringa.**

Brian Kelley would like to restore a summary of the public comments from Jim Heffner to the 05.13.2019 and his own to the 05.21.19 meetings.

Wentzloff said both Heffner and his comments will be added to the revised minutes.

**G. CORRESPONDENCE: None**

**H. PUBLIC HEARINGS: Opened at 7:18 pm**

**1. Zoning Ordinance Amendment 051 – Child Care Centers (PZR 2019-12)**

Wentzloff stated this is not on a public hearing on a specific application it is on a text amendment only to include under the definition of child care center in corridor commercial and corridor flex and not to any individual application.

Jamie Cramer, 6111 Sunset Breeze, she supports the child care center and said it is good to have in a commercial building where utilities and roads are already in place, rather than a residential area.

James Stajos, 1717 US 31 N., owns Pro Fireworks and when the township voiced concerns of having a child care business in his building he contacted MDOT, LARA, the licensing for daycare, and Metro. MDOT said there were no problems with the flow of traffic for drop off and pickup. Metro confirmed as long as there was a state license, the building was highly regulated and was built with good fire separation for this type of business. LARA also said the site would meet their requirements.

Brian Kelley, Acme resident, stated the speed limit for US 131 in that location should be 35 mph to reduce the accidents that keep taking place at the 55 mph it currently is. He would like to see the township help in getting this done.

Ann Stadel, 3518 Kennedy Place, supports the day care and feels this would be a great addition to our community.

Elizabeth Reid, 3181 Zimmerman Rd., supports the day care center and it would be good for the community.

Closed at 7:31pm

**I. OLD BUSINESS:**

**1. Zoning Ordinance Amendment 051 – Child Care Centers (PZR 2019-12)**

Winter clarified the township wasn't trying to stir them to go in a residential district, it was because of the amendment. The district they were pursuing would not allow it, but it would be in a residential location.

**Motion by Feringa to recommend the Board adopt Zoning Ordinance Amendment 051 Child Care Centers as a use by right in the C: Corridor Commercial and CF: Corridor Flex Districts, as presented in the draft table in Section 6.6.4.1 Regulated Uses, and to change the definition of Child Care Centers in Section 3.2 to read Child Care Center: A facility for the care of children, as defined by MCL 722.111, supported by Rosa. Motion carried unanimously.**

Winter informed in the current ordinance this is dropping in the definition (1. a) in the Child Care Section. It no longer matches it is actually 1. h not 1. a.

**2. SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center (PZR 2019-09)**

Chris Biggers, architect for Bigg Architecture, gave an update on the list of conditions that were given to meet before issuing a land use permit. The plans were emailed electronically his week with the revisions but did not make it in the packet. The PC committee reviewed the new plans on the drainage, storm storage area, parking, lighting and landscaping.

**Motion by Feringa to approve Site Plan Review application SPR 2019-05, submitted by Alexander M. Leonowicz, Redbud Roots Lab X Inc, to modify and occupy an approximately 2,468 square foot licensed medical marihuana provisioning center located at 6669 E M-72, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit.**

- 1. Submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor to install the plantings on the landscape plan, prepared by a professional landscaper.**
- 2. Receive a favorable storm water management plan and calculations review by the Township's engineer of record after all required improvements and revisions have been included.**
- 3. Submit a set of revised plans in electronic pdf format and a set of full-size prints sealed by a licensed engineer, architect or landscape architect and signed by the Applicant and Planning Commission Chair.**

**Supported by Balentine. Motion carried unanimously.**

**J. NEW BUSINESS:**

**1. Planning Commission/Zoning Board of Appeals Representative**

Dan VanHouten volunteered to be on the Planning Commission/Zoning Board of Appeals.

**K. PUBLIC COMMENT & OTHER PC BUSINESS: Opened at 8:09 pm**

Brian Kelley, Acme Resident, commented on his disapproval of how the Redbud Roots Lab X Marihuana Provisioning Center site plan application was handled. He felt the requirements for the applicant should not have been given last minute and reviewed at the PC meeting. They should come back to the next meeting when prepared and gave the commissioners the information in advance to review.

Closed at 8:11 pm

Wentzloff informed Jay Zollinger will be retiring as the township supervisor this October.

- 1. Planning & Zoning Administrator Report** – Lindsey Wolf reported there may be another marijuana provisional center request brought before the committee at the August meeting, or at a special meeting if they decide to go that route.
- 2. Township Board Report** – Doug White reported the township hall is coming along and may be completed for the next PC meeting.
- 3. Parks & Trails Committee Report** – K. Wentzloff commented on how Bayside Park has been busy and well used.

**ADJOURN: Motion to adjourn by Feringa, supported by White. Meeting adjourned at 8:15 pm**



# MEMORANDUM

## Planning and Zoning

6042 Acme Road | Williamsburg, MI | 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

To: Acme Township Planning Commission  
 From: Lindsey Wolf, Planning & Zoning Administrator  
 CC: Shawn Winter, Planning Consultant  
 Date: August 5, 2019  
 Re: August 12, 2019 Planning Commission Packet Summary

- 
- A. LIMITED PUBLIC COMMENT:**
- Open: \_\_\_\_\_ Close: \_\_\_\_\_
- B. APPROVAL OF AGENDA:**
- Motion to approve: \_\_\_\_\_ Support: \_\_\_\_\_
- C. INQUIRY AS TO CONFLICTS OF INTEREST:**
- Name: \_\_\_\_\_ Item: \_\_\_\_\_
- Name: \_\_\_\_\_ Item: \_\_\_\_\_
- D. SPECIAL PRESENTATIONS:** none
- 
- E. CONSENT CALENDAR:**
1. **RECEIVE AND FILE:**
    - a. Township Board Draft Regular Meeting Minutes 07.02.19
    - b. Parks & Trails Committee Draft Regular Meeting Minutes -meeting cancelled
  2. **ACTION:**
    - a. Approve Draft Planning Commission Meeting Minutes 05.13.19
    - b. Approve Draft Planning Commission Meeting Minutes 05.21.19
    - c. Approve Draft Planning Commission Meeting Minutes 07.08.19
- Motion to adopt: \_\_\_\_\_ Support: \_\_\_\_\_
- F. ITEMS TO BE REMOVED FROM THE CONSENT CALENDAR:**
1. \_\_\_\_\_
  2. \_\_\_\_\_
- G. CORRESPONDENCE:**
1. None – as of 8.05.2019
- H. PUBLIC HEARINGS:**
- None
- I. OLD BUSINESS:**
1. None

**J. NEW BUSINESS:**

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**1. Meeting minute procedures going forward**

See Planning Commission Chair memo

**2. Nels Veliquette: Preliminary review campground proposal**

The proposed site has 125 camp sites, dog park, and picnic pavilion, located on 68 acres in the A-1 district. Campgrounds a use permitted by special use, subject to the requirements of Section 9.4.

Suggested motion for consideration: No motion to recommend approval at this time.

**3. PD 2019-01: Lormax Stern Pre-Application and Review of Qualifications**

An application has been received from Daniel Stern of Lormax Stern Acme, LLC for a PD pre-application review, for the site located at 6455 US 31 North (the former K-Mart property). The PD request is to create a development with a variety of uses: restaurants, café's, public park, retail business, indoor self-storage, and future fire station.

The Planning Consultant's report is enclosed in this packet and outlines the required standards for a project to qualify for a PD, along with corresponding analysis. The application as submitted does not satisfy all of items a. – e. in Section 19.3, nor the minimum five of the nine objectives under item f. Based on the findings of the review the application does not meet the minimum criteria of qualifications for a complete PD application at this time.

Suggested Motion for consideration:

No motion to recommend approval at this time. Applicant is advised to revise the conceptual plan and resubmit the application.

**4. 2019-07: Acme North Operating Provisioning Center Site Plan Review**

The Applicant is proposing to build a 4,544 sq ft structure as a licensed medical marihuana provisioning center. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. The property is located off shared driveway off M-72 that is also utilized by Tractor Supply Co. The site is relatively flat and cleared, consisting primarily of turf. The proposed use is consistent with the intent and purpose of the zoning district as well as the future land use category. The Planning Consultant's report is enclosed in this packet and outlines the required standards for site plan review.

Suggested Motion for consideration:

**5. Election of Officers**

It's time for the annual election of Planning Commission Officers. The process for doing so is outlined in the attached memo from Counsel.

**K. PUBLIC COMMENT & OTHER PC BUSINESS:**

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**1. Public Comment:**

**Open:**

**Close:**

**2. Planning & Zoning Administrator Report: Lindsey Wolf**

- **Permits** (since July 2019)
  - Land Use Permits – 6
  - Tourist Home – 0
  - Sign – 0

➤ Violations - 3

3. **Township Board Report:** Doug White

4. **Parks & Trails Committee Report:** Marcie Timmins

L. **ADJOURN:** \_\_\_\_\_  
**Motion to adjourn:** **Support:**





# Acme Township

6042 Acme Road | Williamsburg, MI | 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

RE: The Acme Township Planning Commission Meeting Minutes and Correspondence

From: Karly Wentzloff, Planning Commission Chair

To Whom it May Concern:

The Acme Township Planning Commission will comply with all State statutes with regards to recording of the minutes. The Public Comment from both 'Open Public Comment' at the beginning and end of each of the Commission's meetings, as well as the Public Comment at any 'Public Hearings' shall note the name, address and a brief summary of their comments. The brief summary is intended to capture the sentiment of the comment and will not be a detailed account of oral comments. Additionally, Public comment will only be considered orally, all other communication in writing shall be deemed correspondence as outlined below. The Commission asks the public limit their oral comments to no more than three minutes.

Planning Commission Meeting Minutes can be commented on by any member of the Planning Commission, Staff or Public if it is removed from the consent calendar, however approval of the minutes is at the sole discretion of the Planning Commission. If it is a majority of the Planning Commission's opinion that the minutes accurately summarize the comments made, then it is their job as a body to approve the minutes in to the public record.

Correspondence will be received and added to the agenda, as long as it is emailed or hand delivered to the Zoning Administrator and/or Planning Commission Chair no later than 4:00 the day of the meeting. This is so the communication can be distributed to the Planning Commission with enough time for review prior to the meeting, and provided on the table before the meeting begins. Any written communication after that time will be added to the next meeting's agenda as correspondence. All correspondence should be addressed to the Acme Township Planning Commission.



## Acme Township Planning & Zoning Preliminary Review

<b>Prepared:</b>	July 31, 2019	<b>Pages:</b>	3
<b>Meeting:</b>	August 12, 2019	<b>Attachments:</b>	Yes
<b>Subject:</b>	Preliminary Review- Nels Veliquette Campground		

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**Application No.:** N/A Preliminary Review

**Project:** Nels Veliquette Campground – Brackett & Lautner Road  
28-01-225-012-01

**Request:** Conceptual Review

**Applicant:** Nels Veliquette  
6137 Quarterline Road  
Kewadin, MI 49648

**Owner:** Nels Veliquette  
6137 Quarterline Road  
Kewadin, MI 49648

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### I. OVERVIEW

#### General Description

The Applicant is proposing a 125 unit campground that includes comfort stations, picnic pavilion with restroom, outdoor kitchen and fireplace, check-in station, and dog park. The application does not note if the site will be for RV units or for tents.

**Parcel ID:** 28-01-225-012-01

**Parcel size:** 67+acres

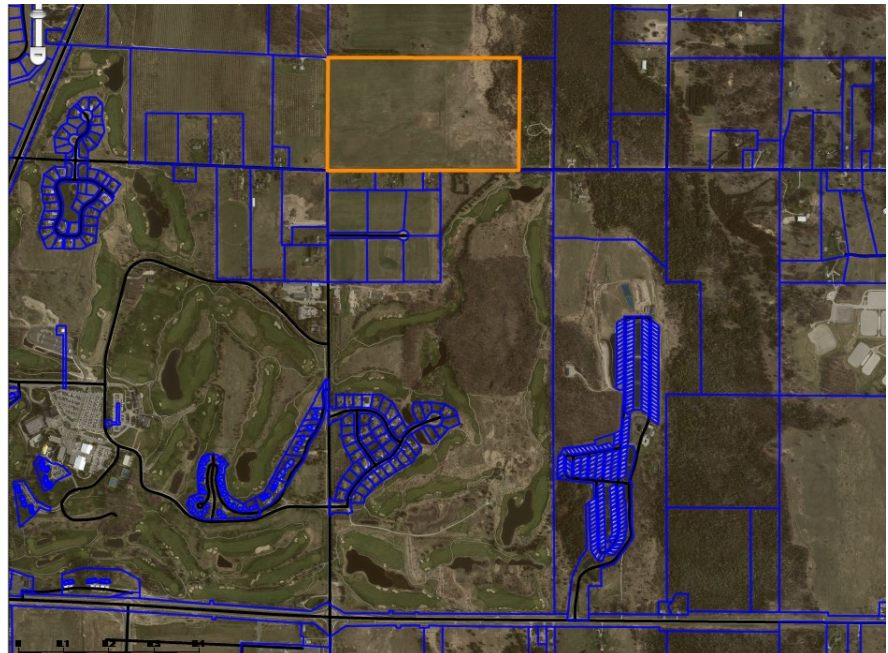
**Zoned:** AG (Agricultural)

**Location:** Corner of Brackett & Lautner Road.

**Existing use:** vacant

**6.12 Agricultural District Section 6.12.3 Uses Permitted by Special Use Permit:** The following uses of land and structures may be permitted in by the application for and issuance of a special use permit subject to **Section 9.1.**

a. Campgrounds: Subject also to the requirements of **Section 9.4**



Adjacent Zoning and Land Uses		
Location	Zoning	Land Use
North	A1	Vacant
Northwest	A1	Residential
South	A1	Residential
	A1	Residential
	A1	Residential
	R3	Golf Course, Spruce Run
Southwest	A1	Residential
East	A1	Campground, Everflowing Waters
West	A1	Agricultural

## II. Review Criteria

### 9.4 CAMPGROUNDS:

9.4.1 STATEMENT OF INTENT: Because of Acme Township's proximity to scenic and natural features which attract resort and recreational facilities, it is the intent of this Section to provide for campgrounds under controlled conditions which will protect the public welfare.

9.4.2 REQUIREMENTS: Campgrounds shall comply with the provisions of Part 125 of the Michigan Public Health Code, and with the following requirements:

a. No campgrounds shall be located except with direct access to a major thoroughfare, or with a minimum lot width of not less than 50 feet for the portion used for entrance and exit. No entrance or exist shall be through a residential district or shall require movement of traffic from the campground through a residential district.

**Lot Dimensions: 2256ft +- x 1300ft +**

**Proposed entrance/exit is directly off Lautner Road.**

**Road Clasification Brackett: local, public**

**Road Classification Lautner: local, public**

b. The minimum lot area per campground shall be ten acres. AMENDMENT015 ADOPTED 08/02/11 EFFECTIVE 08/13/11.

**Parcel is 67+ acres in size.**

c. Campsites in campgrounds may be rented by the day or week or for indefinite periods; or sold PROVIDED, however, that no site shall be occupied as a permanent or principal residence.

**Please include intentions in project narrative.**

d. Management headquarters, recreational facilities, toilets, showers, off-street parking areas, laundry facilities and other uses and structures customarily incidental to the operation of a campground are permitted as accessory uses PROVIDED that:

1. Such accessory uses shall not occupy more than ten percent of the area of the campground.

**Parcel is roughly 2,952,359 ft<sup>2</sup>; accessory buildings cannot occupy more than 295,235 ft<sup>2</sup>**

2. Such accessory uses shall be restricted in their use to occupants of the campground and their guests.

**Please include intentions in project narrative.**

3. Such accessory uses shall present no visible evidence of their commercial character which would attract customers other than occupants of the campground and their guests.

**Landscape buffer will help satisfy this requirement.**

e. No campsite shall be so located that any part intended for sleeping purposes is within one hundred feet of the right-of-way line of any public road or highway. Setback spaces shall be occupied by plant materials and appropriately landscaped. Plant materials shall be of sufficient size when installed to assure immediate and effective screening of the park from adjacent roads and properties. The plans, specifications and proposed arrangement of such plantings shall be prepared by a registered landscape architect.

**Site plan indicates a proposed setback of 100' from the north, south, and western property lines. A 25' setback indicated for the eastern property line – no proposed sites, existing tree cover.**

**Proposed project is also subject the landscaping requirements of:**

**Section 7.5.6 Landscaping**

**e. Landscaped buffers**

**f. Right-of-way Landscaping**

**\*only “native species” listed under “Recommended Plants for Ornamental Landscapes” will be used for any type of landscaping.**

f. The campground site plan shall be subject to the review and approval of the Grand Traverse-Leelanau-Benzie County Health Department.

g. Individual campsites are not subject to setback and accessory structure placement requirements that would otherwise be required under the zoning ordinance. AMENDMENT 015 ADOPTED 08/02/11 EFFECTIVE 08/13/11.

**Also subject to the criteria of Article 8 Site Plan Review and Article 9 Special Uses. Applicant will be provided with Special Use/Site Plan Review application checklist.**

A public hearing will be required at the Planning Commission and approval of the Township Board.

**Material Submission Deadline: Planning Commission**

Planning Commission		Site Plan Review Committee	
Meeting Date	Submission Deadline	Meeting Date	Submission Deadline
January 14	December 24	January 28	January 7
February 11	January 21	February 25	February 4
March 11	February 18	March 25	March 4
April 8	March 18	April 22	April 1
May 13	April 22	May 20	April 29
June 10	May 21	June 24	June 3
July 8	June 17	July 22	July 1
August 12	July 22	August 26	August 5
September 9	August 19	September 23	September 2
October 14	September 23	October 28	October 7
November 4	October 14	November 25	November 4
December 9	November 18	December 16	November 25

Application Number: \_\_\_\_\_



## Special Use Permit/Site Plan Review Application

Township of Acme, Grand Traverse County, Michigan

6042 Acme Road, Williamsburg, MI 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

Planning & Zoning Administrator: Shawn Winter Email: [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

### Owner Information (please type or print clearly):

Name: Cherries R Us Phone: (231) 632-0033

Mailing Address: 6137 Quarterline Rd

City: Kewadin State: MI Zip: 49648

Email Address: nelsveliquette@gmail.com

### Applicant Information (please type or print clearly):

Name: Nels Veliquette (Cherries R Us) Phone: (231) 632-0033

Mailing Address: 6137 Quarterline Rd.

City: Kewadin State: MI Zip: 49648

Email Address: nelsveliquette@gmail.com

### A. Property Information:

1. Address:

Brackett Rd & Lautner Rd

2. Parcel Number/Property Description:

2801 - 225 - 012 - 01

3. Current Zoning of Property:

Agricultural

4. If this project is one phase of a larger development and/or property subject to an existing/previous Site Plan Review, Special Use Permit, or Variance, what is/are the applicable permit number(s)?

N/A

5. Provide proof of current property ownership. If applicant is not the current property owner, also provide written permission to act as agent of, and complete contact information for the current property owner.

N/A



Application Number: \_\_\_\_\_

## 6. Proposed Use/Change to Property

## Campground

**7. Estimated Start and Completion Dates:**

Subject to results of Conceptual Review

**B. Application Packet Requirements: REFER TO ACME TOWNSHIP ZONING ORDINANCE AND COMPLETE ATTACHED CHECKLIST**

**C. Fees:** Include initial fee as required by the Acme Township Ordinance #2004-01

**D. Fee Escrow Policy Acknowledgement:** Provide completed and signed form with initial escrow fee deposit.

**E. Affidavit:** The undersigned affirms that he/she is the owner (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future Special Use Permit and Zoning Ordinance compliance.

Signed: N. S. D. V. ~~W. S. D. V.~~ Date: 6/25/19  
CFO / VP Cherries R Us

**FOR TOWNSHIP USE ONLY**

Application Number: \_\_\_\_\_

Date Received: \_\_\_\_\_

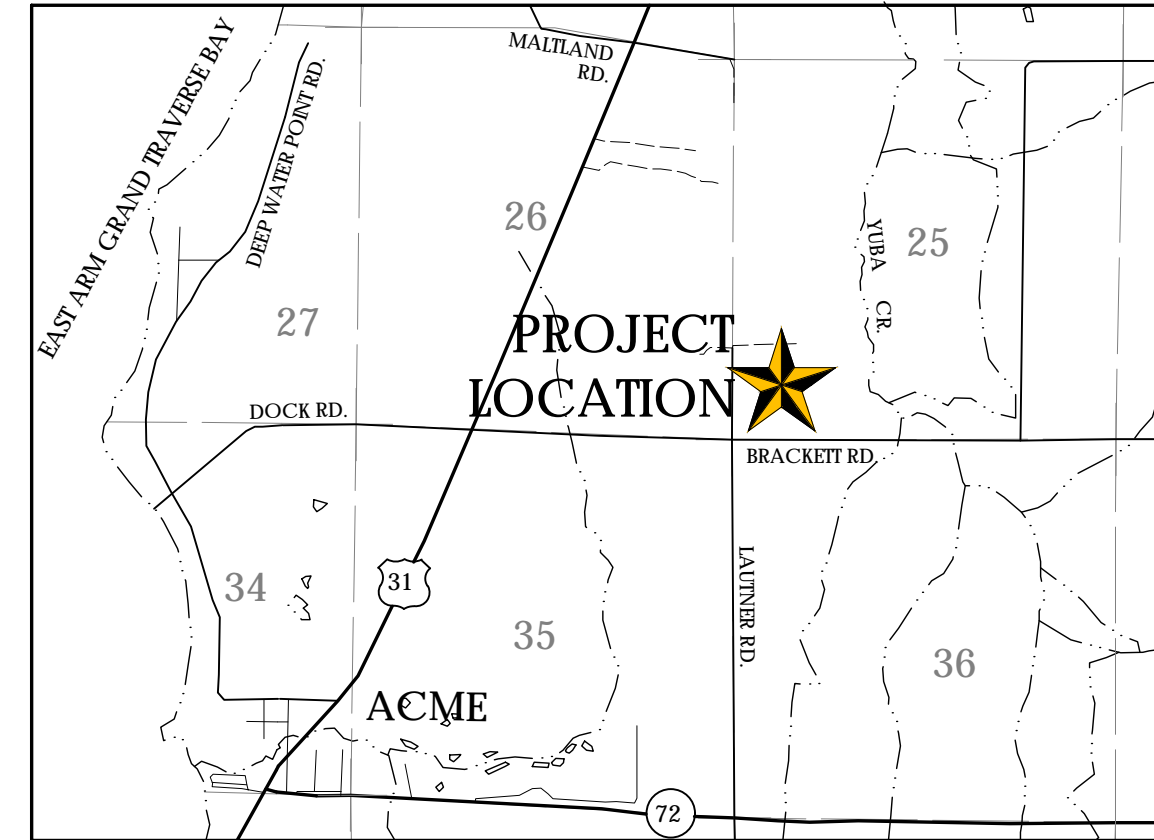
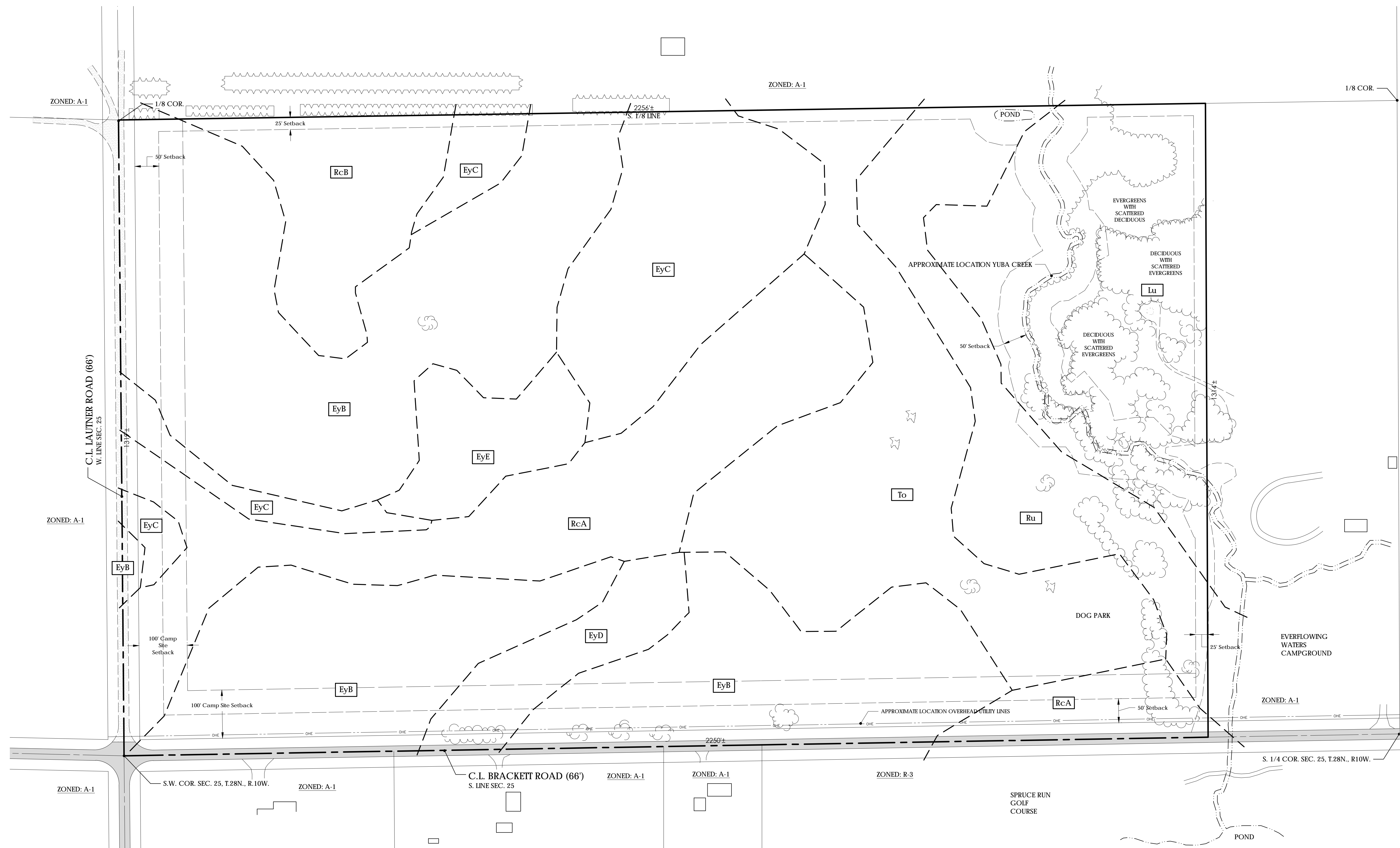
Public Hearing/Meeting: \_\_\_\_\_

Date of Advertising:\_\_\_\_\_

T&amp;A Account: \_\_\_\_\_

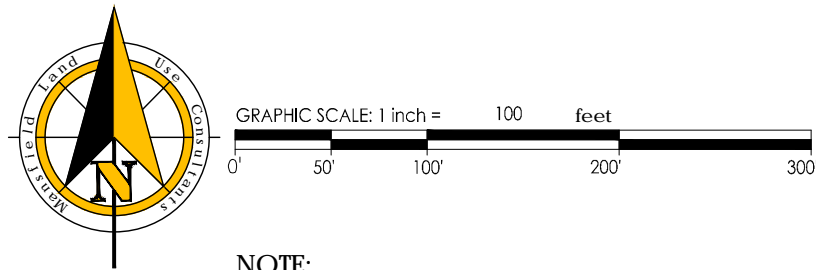
**NOTES:**





GRAND TRAVERSE COUNTY SOILS MAP LEGEND (M1055)	
Map Unit Symbol	Map Unit Name
EyB	Emmet sandy loam, 2 to 6% slopes
EyC	Emmet sandy loam, 6 to 12% slopes
EyD	Emmet sandy loam, 12 to 18% slopes
EyE	Emmet sandy loam, 18 to 25% slopes
Lu	Carlisle muck, 0 to 2% slopes, cool
RcA	Richter loams, 0 to 2% slopes, overwash
RcB	Richter loams, 2 to 6% slopes, overwash
Ru	Roscommon mucky loamy sand
To	Tonkey sandy loam

Developer: Cheries R Us, Inc.  
6137 Quarterline Road  
Kewadin, MI 49684  
Parcel Address: Brackett Road  
Williamsburg, MI 49690  
Tax ID: 28-01-225-012-01  
Tax Description: S. 1/2, SW 1/4, Except the E. 397.7', Sec. 25, T.28N., R.10W.  
Parcel Area: 68 acres ±



NOTE: Property boundaries, land contours, physical features and the like, illustrated on this plan are exhibited for planning purposes only. Mansfield Land Use Consultants makes no guarantee to the correctness nor the completeness of this information.

Cherries R Us Inc.

## Proposed Campground

Section 25, Town 28 North, Range 10 West  
Acme Township, Grand Traverse County, Michigan

830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
[www.maaeps.com](http://www.maaeps.com)  
[info@maaeps.com](mailto:info@maaeps.com)

**Mansfield**  
— **co** —  
**Land Use Consultants**

[illegible]

CONCEPTUAL

P.M.: dlm

DR.: mmm	CKD.: dlm	CREATED: 03.04.19
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**JOB NO.:**

19020

SHT	OF
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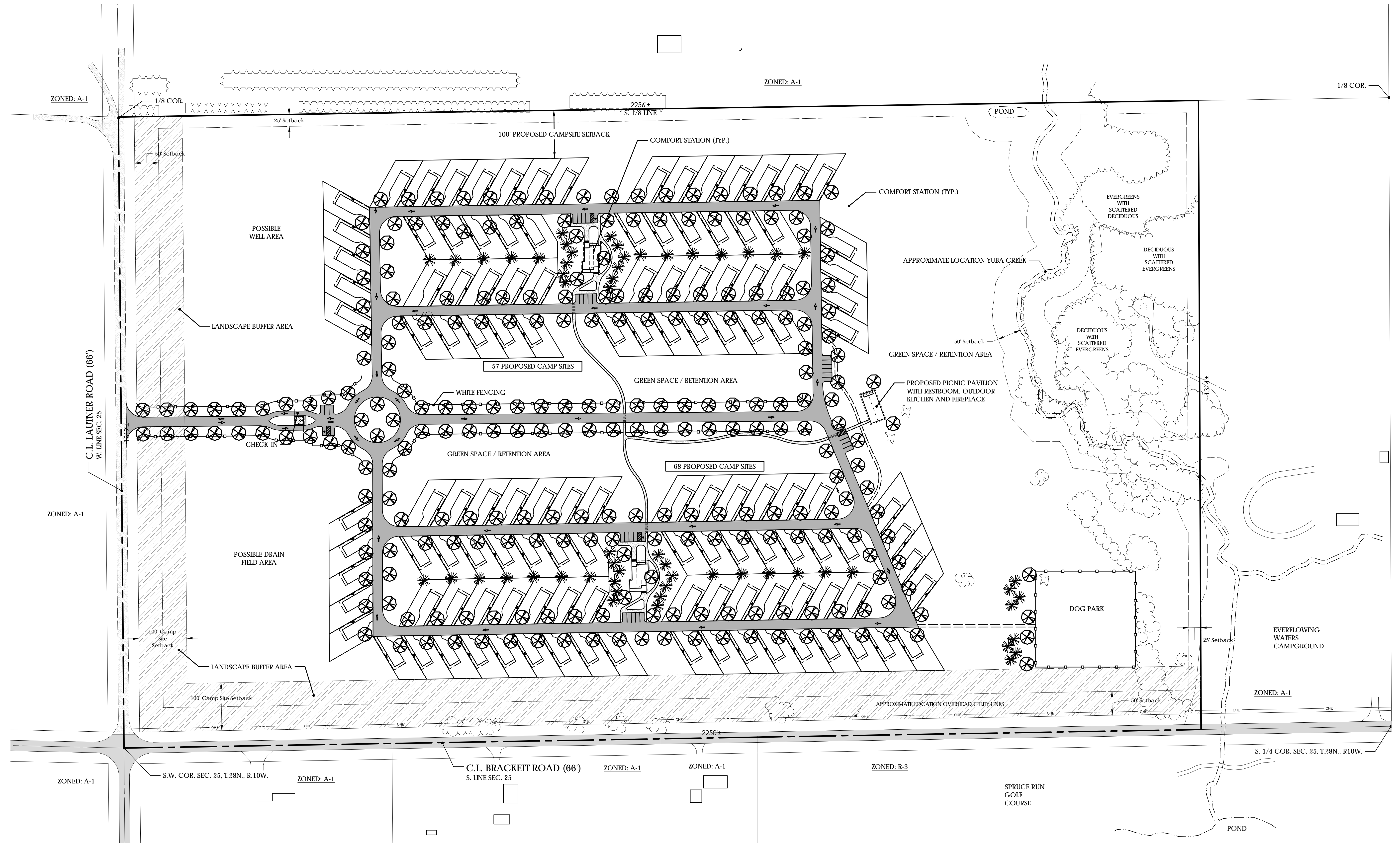
Acme Township, Grand Traverse County, Michigan  
 section 23, town 28 north, range 10 west

CONCEPTUAL

Q: mmm CKD.: dlm CREATED: 03.04.19

DB NO.: 19020

SHT OF



GRAPHIC SCALE: 1 inch = 100 feet



A horizontal scale bar with alternating black and white segments. It is marked with '0'', '50'', '100'', '200'', and '300''.

NOTE: Property boundaries, land contours, physical features and the like, illustrated on this plan are exhibited for planning purposes only. Mansfield Land Use Consultants makes no guarantee to the correctness nor the completeness of this information.



**Date:** 07.25.2019

**From:** Shawn Winter, Planner

**To:** Karly Wentzloff, Chair  
ACME TOWNSHIP PLANNING COMMISSION

**Project:** Lormax Stern Planned Development

**Request:** Pre-application approval for a planned development at the former Kmart site

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**Application No.:** PD 2019-01

**Location:** 6455 US-31 N

**Parcel No.:** 28-01-234-036-00

**Applicant:** Daniel Stern, Lormax Stern, LLC  
38500 Woodward Ave | Bloomfield Hills, MI | 48304

**Owner:** Lormax Stern Acme, LLC  
38500 Woodward Ave | Bloomfield Hills, MI | 48304

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## **General Description**

The Applicant is proposing to reuse the former Kmart property for a mixed use planned development (PD) which may include restaurants, cafes, public park space, retail, indoor self-storage, and potential municipal use (e.g. fire station and/or township hall).

## **Planned Development Process**

The Planned Development (PD) option is intended to allow, with Township approval, private or public development which is substantially in accord with the goals and objectives of the Township Master Plan and Future Land Use Map.

Use of the PD option is to encourage flexibility in the control of land development by encouraging innovative design through an overall development plan that provides a variety of design and layout; to achieve economy and efficiency in the use of land, advance the goals of the community master plan, integrate and preserve

natural resources, maximize use of public services and utilities and encourage useful open spaces suited to the needs of the parcel in question.

The PD process is divided into reasonable and manageable parts.

#### Part 1 – PD Pre-Application Submission and Review

Part 1 is the pre-application where the Applicant requests the use of the PD option and the Planning Commission evaluates if the request is consistent with the community goals and objectives as prescribed by the Zoning Ordinance and outlined in the Acme Township Community Master Plan.

*Part 1 is the gateway to the PD process. The Applicant is required to meet the criteria outlined in Section 19.3(a. – e.) and meet at least five out of the nine objectives outlined in Section 19.3(f) of the Zoning Ordinance. These objectives tie directly to the Acme Township Community Master Plan, the Township’s goal of protecting and preserving natural resources and open space, and is the subject of this review.*

#### Part 2 – PD Plan and Application Submission

The Applicant will submit a PD application with all necessary documentation and drawings to the Township. Once the Planning & Zoning Administrator confirms the application is complete, the Planning Commission Chair will be notified, and the application will be placed on the Planning Commission for preliminary review.

#### Part 3 – PD Application Preliminary Review

The Planning Commission will review the application for consistency with the requirements of the Zoning Ordinance and Community Master Plan, through which the Planning Commission will make any necessary recommendations to the proposed plan. This process includes holding a public hearing on the request, consistent with the procedures outlined in the Michigan Zoning Enabling Act. The Planning Commission will make a recommendation to approve or deny the request, either whole or in part, to the Township Board.

#### Part 4 - PD Application Final Review

Upon recommendation by the Planning Commission, the Township Board will review the findings and make a determination to approve or deny the request, either whole or in part.

### **Pre-Application Criteria Evaluation**

Section 19.3 Criteria of Qualifications	
a.	The properties are zoned R-1, R-2, R-3, A-1, MHN, C, CF, or B-4 Districts.
	RESPONSE: The property with parcel number 01-234-036-00 is zoned Commercial Flex (CF).
	FINDING - SATISFIED: The property is currently zoned CF: Commercial Flex and eligible for a PD.
b.	The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity, building, or use not normally allowed shall result in an improvement to the public health, safety and welfare in the area affected.

	<p><b>RESPONSE:</b> The PD option is being requested as means to better meet the vision of the Township Master Plan and Future Land Use Map. Further, the proposed public park, pedestrian walkways, an area designated for a future fire station or other township uses, indoor self-storage, and retail businesses will have a direct positive impact to the public health, safety, and welfare of the surrounding area.</p>
	<p><b>FINDING – NOT SATISFIED:</b> The proposed new development on the property, utilizing of a portion of the existing structure for retail use, fire station or municipal building, and parks/open spaces is allowed by right in the district. However, the indoor self-storage is not a use allowed in the district. The intent of the base zoning district is to provide for a mix of retail, office, commercial, residential and institutional uses where residents can live work and shop for day-to-day amenities. The conceptual plan does not fully meet this intent due to the fact that it has been designed at such a lower intensity than what is allowed or prescribed for this location.</p> <p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- <i>Redesign the conceptual plan to increase the balance of uses, including a residential component, and intensity that aligns with the Township's goals and objectives and allowable under the base zoning district.</i></li> <li>- <i>Provide details or designs on the public open spaces/parks (e.g. who will own and manage, use type, etc.)</i></li> </ul>
c.	<p><b>The PD shall not be used where the same land use objectives can be carried out by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PD application.</b></p>
	<p><b>RESPONSE:</b> The existing property was previously developed as a big-box retail store and includes all of the existing infrastructure. The redevelopment and adaptive reuse of box stores can be complex and conventional zoning is limited in flexibility. Throughout the years, big box retailers have been optimizing their fleet by right sizing their footprints to sustain future growth, leaving a multitude of vacant buildings. These vacancies are now rarely fully re-occupied by a single retailer. Many of these buildings are now being re-purposed in order to accompany a variety of alternative uses that synergize with one another in order to fully occupy the premises. A common use for these property redevelopments offer indoor self-storage.</p> <p>The PD process allows for the flexibility and creativity needed to successfully re-purpose the property into an integral and functional component for the community benefit. The PD also supports and encourages walkability within the proposed development, a public park to accompany a bike path, high quality landscaping, options for cafe's/restaurants along US-31, which will create a more inviting environment along the roadway, and an area designated for a future fire station or other township uses to support the local community. The existing big box store will be re-designed to offer indoor self-storage on the north side of the building, with the remaining portion of the building available for alternative uses which will also offer an aesthetically appealing street side appearance.</p>
	<p><b>FINDING – NOT SATISFIED:</b> Dividing the existing structure into smaller commercial, office or residential spaces would not be constrained by the Ordinance, given that all applicable standards are met as part of the site plan review. The most notable constraint in implementing the plan through conventional zoning is the indoor self-storage, which is a use not allowed and the only definitive use proposed. The conceptual plan as submitted does not meet all the applicable standards and objectives</p>

	<p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- Please see the other recommendations throughout this table for items to improve the plan and meet the standards and objectives.</li> </ul>
d.	<p>The PD option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those considered in the Township Master Plan, and other public agency plans, unless the proponent can prove to the sole satisfaction of the Township that such added loads will be accommodated or mitigated by the proponent as part of the PD.</p>
	<p><b>RESPONSE:</b> At this time, there has been no evidence that the proposed development would negatively affect service and facility loads. The development is located within the growth and investment area that has been determined by the Township. No additional driveways are being proposed, parking is being reduced, and green spaces are being added.</p>
	<p><b>FINDING - SATISFIED:</b> The property is currently served by sewer and has the potential to connect to the water supply owned and operated by the Grand Traverse Band of Ottawa and Chippewa Indians. Primary access to the site is off of US-31 and has been established through the previous use. MDOT will determine what, if any, changes would need to be made as part of an application review process. A cross-access easement is believed to exist with the neighboring Tom's Market property. A non-motorized trail will provide future connections for pedestrian and bicycle traffic.</p>
e.	<p>The PD shall not be allowed solely as a means of increasing density or as a substitute for a variance request; such objectives should be pursued through the normal zoning process by seeking a zoning change or variance.</p>
	<p><b>RESPONSE:</b> The PD request does not involve density items.</p>
	<p><b>FINDING - SATISFIED:</b> The Applicant does not propose a density increase above what is allowable in the base zoning district. In fact, the conceptual plan proposes a development that is way below the allowable development density by right.</p>
f.	<p>The PD must meet, as a minimum, five (5) of the following nine (9) objectives of the Township. If the PD involves a density transfer it shall include objective f(9) in addition to its five (5) objectives.</p>
1.	<p>To permanently preserve open space or natural features because of their exceptional characteristics, or because they can provide a permanent transition or buffer between land uses.</p>
	<p><b>RESPONSE:</b> The existing wetland, retention pond, and woods on the property will all be maintained. Greenbelts and buffers will also be put in place around specific storm water infrastructure to improve water quality and to preserve and enrich the wildlife habitat.</p>
	<p><b>FINDING – NOT SATISFIED:</b> The conservation easement on the west side of the property will create a buffer between the residential zoning district to the west and the development and is a step towards satisfying this objective. Maintaining the existing trees along US-31 and enhancing the buffer along the north side of the property will be necessary in satisfying this objective. The plan does not provide enough detail to ensure this will be the case.</p>

	<p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- Designate existing trees/areas to be preserved along US-31</li> <li>- Provide additional explanation to the buffering methods or transitional uses to be used along the north property line</li> </ul>
2.	<p><b>To permanently establish land use patterns which are compatible, or which will protect existing or planned uses.</b></p>
	<p><b>RESPONSE:</b> The development will be a catalyst to kick-start future planned land use changes for the US-31 corridor, north of M-72.</p> <p>The development will plan for permanent connections to the adjacent former Tom's Food Store property and consider how the two properties will be compatible in the short-term, as well as long term with the possibility that the Tom's Food Store property will be redeveloped to support planned uses. The two properties share a property edge and have the opportunity to establish a fixed network of streets to improve access management and walkability.</p> <p><b>FINDING – NOT SATISFIED:</b> The intent of the district is to create a dense, walkable mixed use community. The low density development pattern that is proposed does not support that type of an environment or the desired Mixed Use Village future land use category. The design is more suburban in nature and fosters an auto-centric development pattern, complete with a potential drive through restaurant or bank which is not even allowed in the district with a special use permit. The plan lacks a defined internal street network or locations for future connections with adjacent properties; the current circulation network is essentially a parking lot. The development of this property will set the tone for the future pattern of development in the surrounding district.</p> <p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- The concept plan should be redesigned with a development pattern that more closely resembles the description of the Mixed Use Village future land use category in the master plan and reflects the intent of the base zoning district to establish a dense, mixed-use, pedestrian oriented community.</li> </ul>
3.	<p><b>To accept dedication or set aside open space areas in perpetuity.</b></p>
	<p><b>RESPONSE:</b> The development will include a conservation easement, which will be located on the west side of the property to preserve and improve water quality as well as to maintain and enhance the wildlife habitat. The exact location of the easement is shown on the site plan attached to the application.</p> <p>The developer will maintain upscale landscaping and green spaces, offering walkability throughout the project. The development plan will also include a new community park and a bike path at the most high profile corner of the property, with the idea of enhancing the connectivity of the existing TART trail system.</p> <p><b>FINDING - SATISFIED:</b> The proposed conservation easement and dedicated park land, along with the non-motorized trail will provide preserved open space on site and provide connections to other open spaces throughout the Township.</p>

4.	<b>To provide alternative uses for parcels which can provide transition buffers to residential areas.</b>
	<p><b>RESPONSE:</b> The development property is located in the growth and investment area of the township, is located adjacent to the former Tom's Food Store, has an existing big box store and is constrained on one edge by a wetland and ecologically-sensitive area. Moreover, it would be difficult to allocate parcels of substantial size, other than the existing wetland, as a transition or buffer between uses. The existing wetland area along the western edge of the property will provide a natural transition and buffer to single family residential to the west.</p> <p>Streets, public spaces, landscape, and open lawn areas will be the parcels that define the uses and provide a transition. A network of grid-like parking, driveways, and lawn areas becomes the transition between uses. The parking and driveways will be designed as active complete streets with sidewalks, street trees, lighting, seating, green infrastructure, and amenities that support and define the public and private spaces and provide a transition between uses.</p> <p><b>FINDING – NOT SATISFIED:</b> The plan does provide a significant buffer to the residential uses to the west through the conservation easement. This land is essentially undevelopable due to the existing wetlands and stormwater retention basin. However, there is no transition in the intensity of uses between the repurposed Kmart building and the neighboring properties, aside from parking lots. This is especially significant for the adjoining north side properties zoned R-3 Urban Residential, where single-family use is allowed by right and duplex and multifamily is allowed under a special use permit.</p> <p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- <i>The north and south property lines would be appropriate locations for residential components, such as row houses, that would provide a transition in the intensity of land use, or greenbelt buffers of greater significance.</i></li> </ul>
5.	<b>To promote the goals and objectives of the Township Master Plan.</b>
	<p><b>RESPONSE:</b></p> <p><b>Support safe and efficient traffic flow on US-31:</b> The development will reuse the existing entrance on US-31. The existing ingress and egress has been in place for decades and has been proven to be safe. The intersection that is the main entrance can accommodate much more traffic than both this property or the former Tom's Food Market property could create.</p> <p><b>Connectivity to the local TART trail system:</b> The development will include pedestrian walkways throughout the property as well as a park, all of which will provide easy access to a bike path running adjacent to the property. The bike path is intended to support the expansion of the overall TART trail system throughout the area. The walkways and bike path will also allow pedestrians and cyclists a safe passage rather than utilizing US-31.</p> <p><b>Encourage recreation-based tourism:</b> The development will include a mixed use of businesses that will support recreation-based tourism including outdoor dining and retail shopping. Further promoting this goal will be the public park and public walkways, which will encourage use of the bike path.</p> <p><b>Maintain and improve the quality of surface and groundwater throughout the township:</b> The greenbelts throughout the low impact development will filter storm water to provide additional</p>



protection to the existing wetlands and connected watershed. Additionally, storm water catch basins will be cleaned on a routine basis to mitigate sediment and debris from entering the storm sewer system.

#### FINDING – NOT SATISFIED:

##### FOCUS ON PUBLIC INFRASTRUCTURE IMPROVEMENT

- The property is currently served by sewer and will be determined under the application review process if the existing capacity can support the PD. A location for a potential fire station, township hall, or other municipal building have been identified.
- Details are not provided on the type of low-impact design (LID) techniques that will be utilized to control stormwater besides the existing retention basin. The low intensity development pattern is not conducive to supporting a municipal water system within the Growth and Investment Area as prescribed. This would be a missed opportunity.

##### *RECOMMENDATIONS:*

- *Incorporate a variety of small scale LID techniques to compliment the existing retention basin by capturing and treating stormwater*
- *Substitute a significant portion of the impervious surfaces dedicated primarily to parking with future land uses that increase the density of the development and add to the mix of uses on the property.*

##### DEVELOP WALKING AND BIKING FACILITIES THAT CONNECT NEIGHBORHOODS, COMMERCIAL DISTRICTS, AND RECREATIONAL AMENITIES

- The plan does provide a portion of the regional TART Trail network which will provide connections to other destinations within the Township and allows for non-motorized travel modes.
- The parking lot design dominating most of the development's interior is not conducive or inviting to non-motorized transportation. A pedestrian or cyclist would be reasonably aware that the development was not designed for the them while traveling the interior of the development, especially near the existing structure.

##### *RECOMMENDATIONS:*

- *The internal circulation pattern needs to be clearly defined with complete streets that are intuitive to navigate and safe for all users. This can include traffic calming devices such as tabletops bump outs at pedestrian crossings, street trees, bike lanes, sidewalks, narrow lanes, rotaries, terminating vistas grassy medians, and utilizing on-street parking.*
- *Better define potential non-motorized cross access connections with adjacent properties.*

##### CREATE A VIBRANT, HIGH-QUALITY, COMMERCIAL AND MIXED USE DISTRICT

- The plan does incorporate park, commercial and municipal/institutional space.
- The low intensity, auto-centric, suburban design does not meet the goal of concentrated mixed-use neighborhood development in the area of the historically platted Acme Village. Nor does the proposed development satisfy the 75% of building front façade required along the US-31 right of way.

##### *RECOMMENDATIONS:*

- *In order to be a vibrant mixed use development, additional uses need to be included such as residential and office.*
- *The overall density of the development should be increased, utilizing the allowable building massing and stories allowed in the district.*
- *In addition to the amount of building facades fronting along US-31 increasing, additional uses such as commercial, residential, office and municipal, should be placed along the interior road system to frame*

	<p><i>the public space. This will allow for convenient on-street parking as well as additional parking behind new buildings.</i></p> <p><u>MAINTAIN AND IMPROVE THE QUALITY OF SURFACE AND GROUNDWATER THROUGHOUT THE TOWNSHIP REGION, AND GRAND TRAVERSE BAY WATER CENTER</u></p> <ul style="list-style-type: none"> <li>- The plan does reduce some of the existing impervious parking lot for the former Kmart building.</li> <li>- However, additional impervious surfaces are added through additional development and parking with no detail on LID techniques to be used aside from the existing retention basin.</li> </ul> <p><i>RECOMMENDATIONS:</i></p> <ul style="list-style-type: none"> <li>- <i>Include a conceptual stormwater plan that details a variety of LID stormwater technologies</i></li> </ul> <p><u>SUPPORT THE CONTINUATION OF AGRICULTURAL OPERATIONS AND PRESERVATION OF FARMLAND</u></p> <ul style="list-style-type: none"> <li>- Not applicable</li> </ul> <p><u>CREATE A COMMUNITY WITH HOUSING OPTIONS ATTRACTIVE TO ALL</u></p> <ul style="list-style-type: none"> <li>- The plan does not include a residential component. The base zoning district and PD option provide the opportunity for creative housing solutions.</li> </ul> <p><i>RECOMMENDATIONS:</i></p> <ul style="list-style-type: none"> <li>- <i>Redesign the conceptual plan to include a residential component in the plan that utilizes a variety of options: flexible space on upper stories that could be used for residential or office, small dwelling units, row houses, traditional multifamily</i></li> </ul>
6.	<p><b>To foster the aesthetic appearance of the Township through quality building design and site development, provide trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.</b></p>
	<p><b>RESPONSE:</b> The proposed development will extend beyond the minimum requirements related to site design and architecture. Leftover undesirable land that is typically deemed open space in unadventurous developments will instead be replaced with useable open space and a public park. The existing development's currently improved areas only contain a 86,000 square foot vacant building and asphalt.</p> <p><b>FINDING – NOT SATISFIED:</b> Façade improvements to the existing structure and high architectural standards throughout will be required under the form-based code and will define the development. No examples or specific details have been provided to demonstrate this objective is being met.</p> <p><i>RECOMMENDATION:</i></p> <ul style="list-style-type: none"> <li>- <i>Orientate the commercial component in the existing structure along the front of the building (east side) with the indoor self-storage in the rear.</i></li> <li>- <i>Provide precedent images of architectural designs and features to be incorporated into the development.</i></li> </ul>
7.	<p><b>To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.</b></p>
	<p><b>RESPONSE:</b> The proposed development will bring about an optimistic change in use of the property that</p>

	<p>supports the Acme Township Master Plan. The current single- use big box store with a large parking area serving only one use will be replaced with a mixed-use project supporting uses such as: restaurants, cafe's, a public park, retail businesses, an area designated for a future fire station or other township uses, and indoor self-storage in the north portion of the existing building. The use of the southern portion of the building is to be determined.</p> <p><b>FINDING – NOT SATISFIED:</b> Its largely understood that a large vacant building in a commercial district does little to promote economic development, and it would be in the Township's interest to see this property repurposed. However, given the potential of the site through the base zoning district in terms of density, height, and allowable uses, the proposed plan presents a missed opportunity by not fully utilizing that potential.</p> <p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- <i>Redesign the conceptual plan to utilize the development potential</i></li> <li>- <i>Provide a more robust balance of mixed uses, including a residential component</i></li> <li>- <i>Focus on a condensed, vibrant, walkable community</i></li> <li>- <i>Propose phases of development that allow flexibility with the market.</i></li> </ul>
8.	<p><b>To promote the goals and objectives of the Acme Township Placemaking Plan and the US-31 and M-72 Business District zoning.</b></p> <p><b>RESPONSE:</b> The proposed development will not only support and promote the goals and objectives of the Placemaking Plan, but also will be a catalyst and role model for creative adaptive reuse of older large vacant buildings in Acme Township. The following notions explain how the development will meet the guiding principles of the Placemaking Plan:</p> <ul style="list-style-type: none"> <li>i. The development becomes a link to support connecting the Townships assets along US-31 including local businesses, the waterfront park, and residential neighborhoods. The development also will enhance the northern gateway to the Townships business district as it interjects life back to the west side of US- 31.</li> <li>ii. The development will support the growth and investment initiative as defined by the Grand Traverse County and the Grand Vision.</li> <li>iii. The development will support walkability and in return, walkability supports economics, public health, quality of life, and the environment.</li> </ul> <p><b>FINDING – NOT SATISFIED:</b> The Acme Township Placemaking Plan created the goals and objectives that lead to the form-based code requirements of the US-31 / M-72 Business District. In exchange for more uses allowed, more purposeful design standards were implemented. These designs focused on created "downtown" or community core through placemaking initiatives and the mixing of uses. The submitted conceptual plan represents a suburban highway corridor design, not the vibrant, walkable, mixed use development pattern the placemaking, and master, plan prescribes.</p> <p><b>RECOMMENDATIONS:</b></p> <ul style="list-style-type: none"> <li>- <i>Please see the recommendations throughout this table for design improvements that will aid in meeting these goals and objectives.</i></li> </ul>

9.	To promote sustainable development especially on parcels with active farmland and orchards as defined by MCL 324.36201 (h), or on parcels that contain unique cultural, historical or natural features which should be preserved.
	RESPONSE: Not applicable.
	FINDING: Not applicable.

## ASSESSMENT OF THE APPLICATION

### Consistency with the Master Plan

The proposed development is located in the Township's established sewer district and the Future Growth and Investment Area<sup>1</sup> according to the master plan, making the future development in this location appropriate and desired. The future land use category is designated as Mixed Use Village and is described as follows:

*This category of land use encourages the development of an integrated, walkable, mixed-use and mixed housing area located within the former historic Acme Village. This condensed district is intended to be walkable and connected via non-motorized trails and thoughtful sidewalk networks. It will allow residents to live in a variety of housing types, including types that match existing conditions and provide greater density, such as townhouses, apartments, and rowhouses, while being close to essential services and a mix of land uses. Public infrastructure, water, sanitary sewer, roads, and non-motorized pathways will be required to fully develop and link properties into this cohesive community mixed use district. Sanitary sewer currently serves the district's existing capacity, but with proposed higher density in this area, additional capacity should be considered. Some sidewalks are found along the major corridors but are largely missing along most roads, and evidence of informal sidewalk paths can be seen along residential streets. By increasing mixed housing options, this district can serve the changing needs of Acme residents. Encouraging new residential growth with densities of 10-14 units per acre can help foster housing for a growing workforce and aging population. Limited neighborhood commercial services are located on the corners in established neighborhoods.<sup>2</sup>*

The application proposes a development pattern that is not consistent with the future land use category as described. The PD option should be for those developments that are substantially in accord with the goals and objectives of the master plan, including the future land use map. As referenced in this report, the application is a suburban, auto-centric development that does not reflect a condensed, walkable

<sup>1</sup> Acme Township Community Master Plan. (2019). *Economic Development Zones Map*. p. 70.

<sup>2</sup> Acme Township Community Master Plan. (2019). *Future Land Use Categories – Mixed Use Village*. p. 69.

community with a variety of housing types balanced by commercial and institutional uses that provide essential services.

### Consistency with Zoning District

The property consists of 11 acres of land zoned CF: Corridor Flexible. The Zoning Ordinance provides the following explanation of the intent for the district:

<b>CF (Corridor Flex)</b>	
Intent	To provide for a flexible mixture of retail, office, commercial, residential and institutional uses within walkable and connected neighborhoods. The objective is to create an environment where residents can live, work and shop for day-to-day amenities in the same area.
Distinguishing Characteristics	Retail, workplace and civic activities mixed with attached housing types such as townhouses and apartments all developed at a community scale.
General Character	Predominantly attached buildings, landscaping within the public right of way, substantial pedestrian activity.
Desired Form	Mixed Use
Building Placement	Small or no setbacks, buildings oriented to street with placement and character defining a street wall
Frontage Types	Commercial uses front onto thoroughfare.
Typical Building Heights	2 to 4 stories
Type of Public Open Space	Parks, plazas and squares, boulevard median landscaping
Transit (Where Available)	BATA / TART



The Zoning Ordinance standards reflect the master plan, therefore, by failing to meet the intent of the district it also fails to meet the prescribed development pattern from the master plan.

### **Consistency with the Planned Development Objectives**

The application as submitted does not satisfy all of items a. – e. in Section 19.3, nor the minimum five of the nine objectives under item f. Based on the findings of the review the application does not meet the minimum criteria of qualifications for a complete PD application at this time.

### **Recommendations and Considerations**

The redevelopment of the former Kmart property will be a heavy lift for any developer and the Applicant should be acknowledged for taking on such a task. Although the PD conceptual plan does not meet the standards and objectives to qualify for a complete application at this time, the Applicant has created a strong foundation to build upon. The purpose is to ensure a PD for the site is consistent with the goals and objectives of the master plan, noting the desired form prescribed in the applicable future land use category, and the intent and purpose of the zoning district. It is not the desire of the Township to see this property sit vacant: that would be a loss to the developer and future economic development in the Township. However, it is desired to ensure the future development of the property does not create a missed opportunity in satisfy the goal and objectives of the master plan and base zoning district.

The recommendations suggested should be taken into consideration by the Applicant, along with any others provided by the Planning Commission, to revise the conceptual plan to satisfy these items. The key will be truly creating a master plan for the property that provides a balance of uses at a density that will facilitate a walkable environment and a vibrant commercial area supported by the surrounding residential neighborhood components. The revised plan should be envisioned further into the future and incorporate phases that allow the development to be flexible with market conditions and respond to feedback from prior development phases.

#### *Suggested Motion for Consideration:*

No motion to recommend approval at this time. Applicant is advised to revise the conceptual plan and resubmit the application.





July 10, 2019

Lindsey Wolf  
Planning and Zoning Administrator  
Acme Township  
6042 Acme Road  
Williamsburg, MI 49690

RE: Pre-Application Submission  
Lormax Stern Acme, LLC  
Property located at 6455 US-31 N.

Dear Ms. Wolf,

Lormax Stern is proud to submit to you a pre-application for a planned development of the former K-Mart property located at 6455 US-31 N. The application will support the credentials required under the Criteria for Qualifications in section 19.3 of the Acme Township Zoning Ordinance. The currently proposed development will offer a variety of uses including, but not limited to: restaurants, café's, a public park, retail businesses, indoor self-storage, room for a future fire station or other township uses, as well as a plan to support the connectivity to the local TART trail system with an important stop in the Township.

Related to the pre-application, attached please find the application form, written narrative of the responses to the Criteria of Applications, drawings showing the layout of the planned development, and the Warranty Deed showing proof of ownership of the parcel.

We look forward to working with Acme Township to successfully redevelop the property to fit the vision of the Township Master Plan.

Regards,

**Lormax Stern Development Company**

A handwritten signature in blue ink, appearing to read 'Daniel Stern', is written over the company name.

Daniel Stern  
Partner  
248.737.7110  
[dls@lormaxstern.com](mailto:dls@lormaxstern.com)

**MTB Partners**

A handwritten signature in blue ink, appearing to read 'Michael Bailey', is written over the company name.

Michael Bailey  
Partner  
248-594-4350  
[mbailey@mtbpartnersllc.com](mailto:mbailey@mtbpartnersllc.com)



**PLANNED DEVELOPMENT**  
**Pre-Application Submission and Review of Qualifications**

**Township of Acme, Grand Traverse County, Michigan**

6042 Acme Road, Williamsburg, MI 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

Zoning Administrator: Shawn Winter Email: [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

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**OWNER INFORMATION** (please type or print clearly)

Name: Lormax Stern Acme, LLC Phone: 248-737-7110

Mailing Address: 38500 Woodward Avenue, Suite 200

City: Bloomfield Hills State: Michigan Zip: 48304

Email Address: dls@lormaxstern.com

**APPLICANT INFORMATION** (please type or print clearly)

Name: Daniel Stern Phone: 248-737-7110

Mailing Address: 38500 Woodward Avenue, Suite 200

City: Bloomfield Hills State: Michigan Zip: 48304

Email Address: dls@lormaxstern.com

**PROPERTY INFORMATION** (please type or print clearly)

Address: 6455 US-31 North Williamsburg, MI 49690

Parcel Number: 01-234-036-00 Current Zoning: Commercial Flex (CF)

If this project is one phase of a larger development and/or property subject to an **existing/previous Site Plan Review, Special Use Permit, or Variance**, what is/are the applicable permit number(s)?

\_\_\_\_\_  
\_\_\_\_\_

**Proposed Use/Change to Property:** \_\_\_\_\_

Adaptive reuse of the existing big box store (including indoor self-storage), restaurants, cafe's, a public park, retail businesses, and public buildings.

\_\_\_\_\_  
\_\_\_\_\_

**Estimated Start and Completion Dates of Each Phase:** \_\_\_\_\_

The creation of the park is estimated to start in the fall and completed in the spring.

One outparcel is estimated to be constructed in 2020. A second outparcel is estimated to be constructed in 2021.



## **PRE-APPLICATION SUBMISSION DOCUMENTS**

### **Criteria of Qualification**

All Planned Development applications shall include a written narrative demonstrating how the project meets the following criteria:

- Properties are zoned R-1, R-2, R-3, A-1, MHN, C, CF, or B-4 Districts.
- The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity, building, or use not normally allowed shall result in an improvement to the public health, safety and welfare in the area affected.
- The Planned Development shall not be used where the same land use objectives can be carried out by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the Planned Development application.
- The Planned Development option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those considered in the Township Master Plan, and other public agency plans, unless the proponent can prove to the sole satisfaction of the Township that such added loads will be accommodated or mitigated by the proponent as part of the Planned Development.
- The Planned Development shall not be allowed solely as a means of increasing density or as a substitute for a variance; such objectives should be pursued through the normal zoning process by seeking a zoning change or variance.
- The Planned Development must meet, at a minimum, five (5) of the following nine (9) objectives of the Township. If the Planned Development involves a density transfer it shall include Item 9 in addition to its five (5) objectives.
  1. To permanently preserve open space or natural features because of their exceptional characteristics, or because they can provide a permanent transition or buffer between land uses.
  2. To permanently establish land use patterns which are compatible or which will protect existing or planned uses.
  3. To accept dedication or set aside open space areas in perpetuity.
  4. To provide alternative uses for parcels which can provided transition buffers to residential areas.
  5. To promote the goals and objectives of the Township Master Plan.

6. To foster the aesthetic appearance of the Township through quality building design and site development, provide trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.
7. To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.
8. To promote the goals and objectives of the Acme Township Placemaking Plan and the US-31/M-72 Business District zoning.
9. To promote sustainable development especially on parcels with active farmlands and orchards as defined by MCL 324.36201(h), or on parcels that contain unique cultural, historical or natural features which should be preserved.

#### **Schematic Land Use Plan**

Drawings containing enough detail to demonstrate the following:

- Location of land use areas
- Role of open space
- Streets providing access to the site, along with pedestrian and vehicular circulation with the site
- Dwelling unit density and types
- Building or floor areas contemplated, as applicable

The applicant is encouraged to elaborate on these elements in the written narrative.

#### **Natural Features Plan**

A plan to protect natural features, or preservation of open space or greenbelts. The areas of preservation may be noted on the schematic land use plan, and described in the written narrative.

#### **Storm Water Management Plan**

A storm water management plan incorporating low impact development (LID) water quality technologies. Examples include, but are not limited to rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavers, porous pavement, filtered storm water technologies.

#### **Proof of Property Ownership**

Provide proof of ownership for the parcel(s) included in the Planned Development application. If applicant is not the current property owner, also provide written permission to act as agent on the property owner's behalf.

Application Number: \_\_\_\_\_

**PLANNING COMMISSION REVIEW**

Based on the documentation presented, the Planning Commission shall make a preliminary determination about whether a parcel(s) and project qualifies for the Planned Development under the Criteria for Qualifications in §19.3 of the Acme Township Zoning Ordinance.

If approved, the applicant may then continue to prepare a Planned Development plan in accordance with §19.7.2 Submission of Planned Development Plan and Application Materials of the Acme Township Zoning Ordinance from which a final determination will be made. **PLEASE NOTE: an approved preliminary request for qualification does not guarantee a final Planned Development approval.**

**FEES AND ESCROW POLICY ACKNOWLEDGEMENT**

No fee or escrow policy acknowledgement is necessary at the time of a Planned Development pre-application submission and review of qualifications. If preliminarily approved, the applicant will submit a Planned Development fee consistent with the Acme Township Fee Schedule, along with a completed and signed escrow policy acknowledgement form and initial escrow fee deposit at the time of the submission of Planned Development Plan and Application Materials.

**AFFIDAVIT**

The undersigned affirms that he/she is the Daniel Stern (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future Planned Development and Zoning Ordinance compliance.

Signed:  Date: 7-10-2019

Print Name: DANIEL L STERN

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**NOTES - FOR TOWNSHIP USE ONLY**



# Lormax Stern Development Company

Planned Development Pre-Application

Parcel No. 01-234-036-00



## Application Responses

**A. The properties are zoned R-1, R-2, R-3, A-1, MHN, C, CF, or B-4 Districts:**

**Response:** The property with parcel number 01-234-036-00 is zoned Commercial Flex (CF).

**B. The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity, building, or use not normally allowed shall result in an improvement to the public health, safety, and welfare in the area affected:**

**Response:** The PD option is being requested as means to better meet the vision of the Township Master Plan and Future Land Use Map. Further, the proposed public park, pedestrian walkways, an area designated for a future fire station or other township uses, indoor self-storage, and retail businesses will have a direct positive impact to the public health, safety, and welfare of the surrounding area.

**C. The PD shall not be used where the same land use objectives can be carried out by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PD application:**

**Response:** The existing property was previously developed as a big-box retail store and includes all of the existing infrastructure. The redevelopment and adaptive reuse of box stores can be complex and conventional zoning is limited in flexibility. Throughout the years, big box retailers have been optimizing their fleet by right sizing their footprints to sustain future growth, leaving a multitude of vacant buildings. These vacancies are now rarely fully re-occupied by a single retailer. Many of these buildings are now being re-purposed in order to accompany a variety of alternative uses that synergize with one another in order to fully occupy the premises. A common use for these property redevelopments offer indoor self-storage.

The PD process allows for the flexibility and creativity needed to successfully re-purpose the property into an integral and functional component for the community benefit. The PD also supports and encourages walkability within the proposed development, a public park to accompany a bike path, high quality landscaping, options for café's/restaurants along US-31, which will create a more inviting environment along the roadway, and an area designated for a future fire station or other township uses to support the local community. The existing big box store will be re-designed to offer indoor self-storage on the north side of the building, with the remaining portion of the building available for alternative uses which will also offer an aesthetically appealing street side appearance

- D. The PD option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those considered in the Township Master Plan, and other public agency plans, unless the proponent can prove to the sole satisfaction of the Township that such added loads will be accommodated or mitigated by the proponent as part of the PD:

**Response:** At this time, there has been no evidence that the proposed development would negatively affect service and facility loads. The development is located within the growth and investment area that has been determined by the Township. No additional driveways are being proposed, parking is being reduced, and green spaces are being added.

- E. The PD shall not be allowed solely as a means of increasing density or as a substitute for a variance request; such objectives should be pursued through the normal zoning process by seeking a zoning change or variance:

**Response:** The PD request does not involve density items.

- F. The PD must meet, as a minimum, five (5) of the following nine (9) objectives of the Township. If the PD involves a density transfer it shall included objective nine (9) in addition to its five (5) objectives:

*1. To permanently preserve open space or natural features because of their exceptional characteristics, or because they can provide a permanent transition or buffer between land uses:*

**Response:** The existing wetland, retention pond, and woods on the property will all be maintained. Greenbelts and buffers will also be put in place around specific storm water green infrastructure to improve water quality and to preserve and enrich the wildlife habitat.

*2. To permanently establish land use patterns which are compatible or which will protect existing or planned uses:*

**Response:** The development will be a catalyst to kick-start future planned land use changes for the US-31 corridor, north of M-72.

The development will plan for permanent connections to the adjacent former Tom's Food Store property and consider how the two properties will be compatible in the short-term, as well as long term with the possibility that the Tom's Food Store property will be redeveloped to support planned uses. The two properties share a property edge and have the opportunity to establish a fixed network of streets to improve access management and walkability.



3. *To accept dedication or set aside open space areas in perpetuity:*

**Response:** The development will include a conservation easement, which will be located on the west side of the property to preserve and improve water quality as well as to maintain and enhance the wildlife habitat. The exact location of the easement is shown on the site plan attached to the application.

The developer will maintain upscale landscaping and green spaces, offering walkability throughout the project. The development plan will also include a new community park and a bike path at the most high profile corner of the property, with the idea of enhancing the connectivity of the existing TART trail system.

4. *To provide alternative uses for parcels which can provide transition buffers to residential areas:*

**Response:** The development property is located in the growth and investment area of the township, is located adjacent to the former Tom's Food Store, has an existing big box store and is constrained on one edge by a wetland and ecologically-sensitive area. Moreover, it would be difficult to allocate parcels of substantial size, other than the existing wetland, as a transition or buffer between uses. The existing wetland area along the western edge of the property will provide a natural transition and buffer to single family residential to the west.

Streets, public spaces, landscape, and open lawn areas will be the parcels that define the uses and provide a transition. A network of grid-like parking, driveways, and lawn areas becomes the transition between uses. The parking and driveways will be designed as active complete streets with sidewalks, street trees, lighting, seating, green infrastructure, and amenities that support and define the public and private spaces and provide a transition between uses.

5. *To promote the goals and objectives of the Township Master Plan. The proposed development meets or exceeds the following goals and objectives (Cornerstones) of the Township Master Plan:*

**Response:**

**Support safe and efficient traffic flow on US-31:** The development will reuse the existing entrance on US-31. The existing ingress and egress has been in place for decades and has been proven to be safe. The intersection that is the main entrance can accommodate much more traffic than both this property or the former Tom's Food Market property could create.

**Connectivity to the local TART trail system:** The development will include pedestrian walkways throughout the property as well as a park, all of which will provide easy access to a bike path running adjacent to the property. The bike path is intended to support the expansion of the overall TART trail system throughout the

area. The walkways and bike path will also allow pedestrians and cyclists a safe passage rather than utilizing US-31.

**Encourage recreation-based tourism:** The development will include a mixed use of businesses that will support recreation-based tourism including outdoor dining and retail shopping. Further promoting this goal will be the public park and public walkways, which will encourage use of the bike path.

**Maintain and improve the quality of surface and groundwater throughout the township:** The greenbelts throughout the low impact development will filter storm water to provide additional protection to the existing wetlands and connected watershed. Additionally, storm water catch basins will be cleaned on a routine basis to mitigate sediment and debris from entering the storm sewer system.

6. *To foster the aesthetic appearance of the Township through quality building design and site development, provide trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.*

**Response:** The proposed development will extend beyond the minimum requirements related to site design and architecture. Leftover undesirable land that is typically deemed open space in unadventurous developments will instead be replaced with useable open space and a public park. The existing development's currently improved areas only contain a 86,000 square foot vacant building and asphalt.

7. *To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.*

**Response:** The proposed development will bring about an optimistic change in use of the property that supports the Acme Township Master Plan. The current single-use big box store with a large parking area serving only one use will be replaced with a mixed-use project supporting uses such as: restaurants, café's, a public park, retail businesses, an area designated for a future fire station or other township uses, and indoor self-storage in the north portion of the existing building. The use of the southern portion of the building is to be determined.

8. *To promote the goals and objectives of the Acme Township Placemaking Plan and the US-31 and M-72 Business District zoning:*

**Response:** The proposed development will not only support and promote the goals and objectives of the Placemaking Plan, but also will be a catalyst and role model for creative adaptive reuse of older large vacant buildings in Acme Township. The following notions explain how the development will meet the guiding principles of the Placemaking Plan:

- i. The development becomes a link to support connecting the Townships assets along US-31 including local businesses, the waterfront park, and residential neighborhoods. The development also will enhance the northern gateway to the Townships business district as it interjects life back to the west side of US-31.
  - ii. The development will support the growth and investment initiative as defined by the Grand Traverse County and the Grand Vision.
  - iii. The development will support walkability and in return, walkability supports economics, public health, quality of life, and the environment.
9. *To promote sustainable development especially on parcels with active farmland and orchards as defined by MCL 324.36201 (h), or on parcels that contain unique cultural, historical or natural features which should be preserved:*

**Response:** Not applicable.





DRAWN BY: [blank]  
 CHECKED BY: [blank]  
 DESIGNED BY: [blank]  
 DATE: [blank]  
 PROJECT: [blank]  
 SHEET: [blank]

Proposed  
 Commercial Development  
 US-31  
 Acme Twp., Michigan

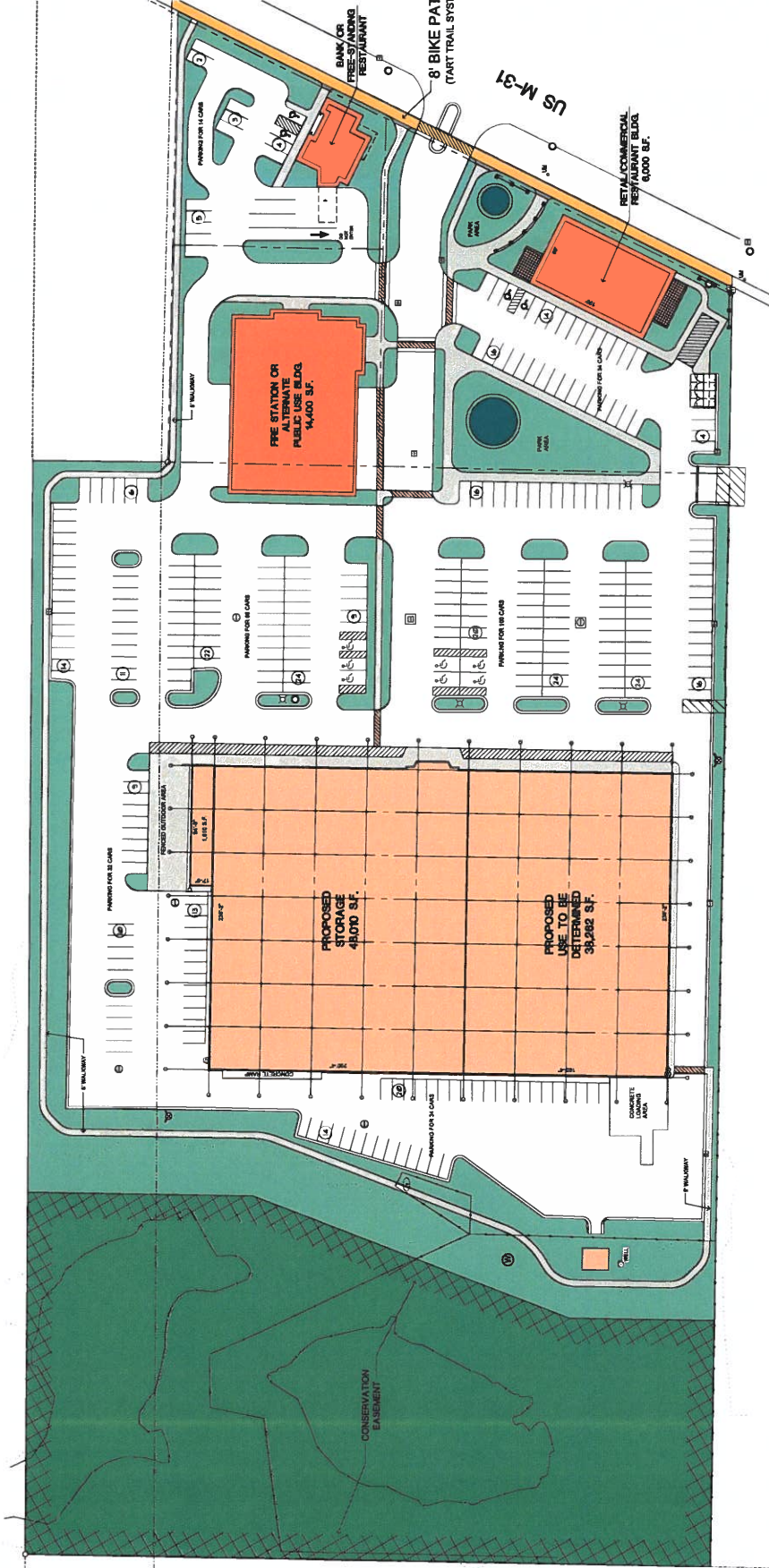
ROGVOY  
 ARCHITECTS  
 3800 TELEGRAPH ROAD  
 SUITE 200  
 BIRMINGHAM, ALABAMA 35203-3604  
 PHONE: 205.988.7770  
 FAX: 205.988.7770  
 WWW.ROGVOYARCHITECTS.COM

drawing  
 Conceptual  
 Site Plan  
 DO NOT SCALE DRAWING  
 Issue date: 20 OCT. 14  
 prepared by: [blank]  
 checked by: [blank]  
 approved by: [blank]

file number: 19009  
 sheet:

SP-1

SITE PLAN  
 SCALE: 1"=40'-0"  
 © COPYRIGHT 2014, ROGVOY ARCHITECTS, P.C.



## WARRANTY DEED

**Corporate**  
(Unplatted Land)

**Drafted By:**

Howard Rosenberg, Member  
SR Acme, LLC  
30665 Northwestern Hwy Ste. 200  
Farmington Hills, MI 48334

**Return To:**

38500 Woodward Avenue , Suite 100  
Bloomfield Hills , MI 48304

**Send Tax Bills To:**

38500 Woodward Avenue , Suite 100  
Bloomfield Hills , MI 48304

Recording Fee: \$

File Number: 819355

State Transfer Tax:

\$10,500.00

County Transfer Tax:

\$1,540.00

Tax Parcel No.: 01-234-036-00

*Know All Persons by These Presents:* That **SR Acme, LLC, a Michigan limited liability company**  
whose address is 30665 Northwestern Hwy Ste. 200, Farmington Hills, MI 48334

Convey(s) and Warrant(s) to **Lormax Stern Acme LLC, a Michigan limited liability company**  
whose address is 38500 Woodward Avenue , Suite 100, Bloomfield Hills , MI 48304

the following described premises situated in the Township of **Acme**, County of **Grand Traverse**, State of Michigan, to  
wit:

(SEE ATTACHED EXHIBIT A)

More commonly known as: **6455 US 31 North, Acme, MI 49690**

For the full consideration of: **one million four hundred thousand** Dollars (\$1,400,000.00)

**Subject To:**

Existing building and use restrictions, easements of record, and zoning ordinances, if any.

**If the property conveyed is unplatted, the following applies:**

The grantor grants to the grantee the right to make \_\_\_\_\_ division(s) under section 108 of the land division act, Act No. 288 of the Public Acts of 1967. **(If no number is inserted, the right to make divisions stays with the portion of the parent tract retained by the grantor; if all of the parent tract is conveyed, then all division rights are granted.)** This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Dated this January 28, 2019.



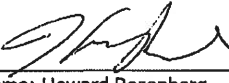
First American Title Insurance Company



**(Attached to and becoming a part of Warranty Deed dated: January 28, 2019 between SR Acme, LLC, a Michigan limited liability company, as Seller(s) and Lormax Stern Acme LLC, a Michigan limited liability company, as Purchaser(s).)**


**Seller(s):**

SR Acme, LLC, a Michigan limited liability company

By:   
Name: Howard Rosenberg  
Title: Member

State of Michigan  
County of MACOMB

The foregoing instrument was acknowledged before me this January 28, 2019 by Howard Rosenberg, Member of SR Acme, LLC, a Michigan limited liability company.

  
Notary Public:  
Notary County/State:  
County Acting In:  
Commission Expires:

Jeanne L. Gillen  
Notary Public, State of MI  
County of Macomb  
My Commission Expires August 16, 2024  
Acting in county of

OAKLAND



First American Title Insurance Company

*(Attached to and becoming a part of Warranty Deed dated: January 28, 2019 between SR Acme, LLC, a Michigan limited liability company, as Seller(s) and Lormax Stern Acme LLC, a Michigan limited liability company, as Purchaser(s).)*

## EXHIBIT A

Land situated in the Township of Acme, County of Grand Traverse, State of Michigan, described as follows:

### FEE PARCEL:

That part of Section 34 and 35, Town 28 North, Range 10 West, more fully described as: Beginning at the quarter corner common to said Sections 34 and 35; thence South 2 degrees 03 minutes 30 seconds West, 5.00 feet; thence South 87 degrees 19 minutes 30 seconds East, 349.87 feet; thence South 27 degrees 52 minutes 00 second West, along the Westerly line of Highway U.S. 31, a distance of 460.45 feet; thence Southwesterly, along said Westerly line on the arc of a 2200.10 foot radius curve to the right, a distance of 25.93 feet (the chord of said arc being South 28 degrees 11 minutes 31 seconds West, 25.93 feet); thence North 87 degrees 35 minutes 05 seconds West, 998.32 feet; thence North 2 degrees 37 minutes 35 seconds East, 436.91 feet; thence North 2 degrees 02 minutes 10 seconds East, 101.07 feet; thence South 88 degrees 10 minutes 50 seconds East, 856.0 feet; thence South 2 degrees 02 minutes 10 seconds West, along the line between Section 34 and 35, a distance of 101.07 feet to the Point of Beginning.

### EASEMENT PARCEL:

Together with a non-exclusive easement as created, limited and defined in that certain Cross Easement Agreement recorded in Liber 776, page 580, Grand Traverse County Records.

Tax Parcel Number: 01-234-036-00



First American Title Insurance Company

**Date:** 06.27.19 [updated 08.05.19]

**From:** Shawn Winter, Planner

**To:** Karly Wentzloff, Chair  
ACME TOWNSHIP PLANNING COMMISSION

**Application No.:** SPR 2019-07

**Project:** Acme North Operating LLC

**Request:** Site plan review approval to construct a 4,544 sq ft medical marihuana provisioning center

**Applicant:** David Cacioppo, PCS Services LLC  
21970 Trufant Ct | Woodhaven, MI | 48189

**Owner:** Ammar Kattoula, Silver Gate Investments LLC  
40600 Ann Arbor Rd, Sutie 201 | Plymouth, MI | 48170

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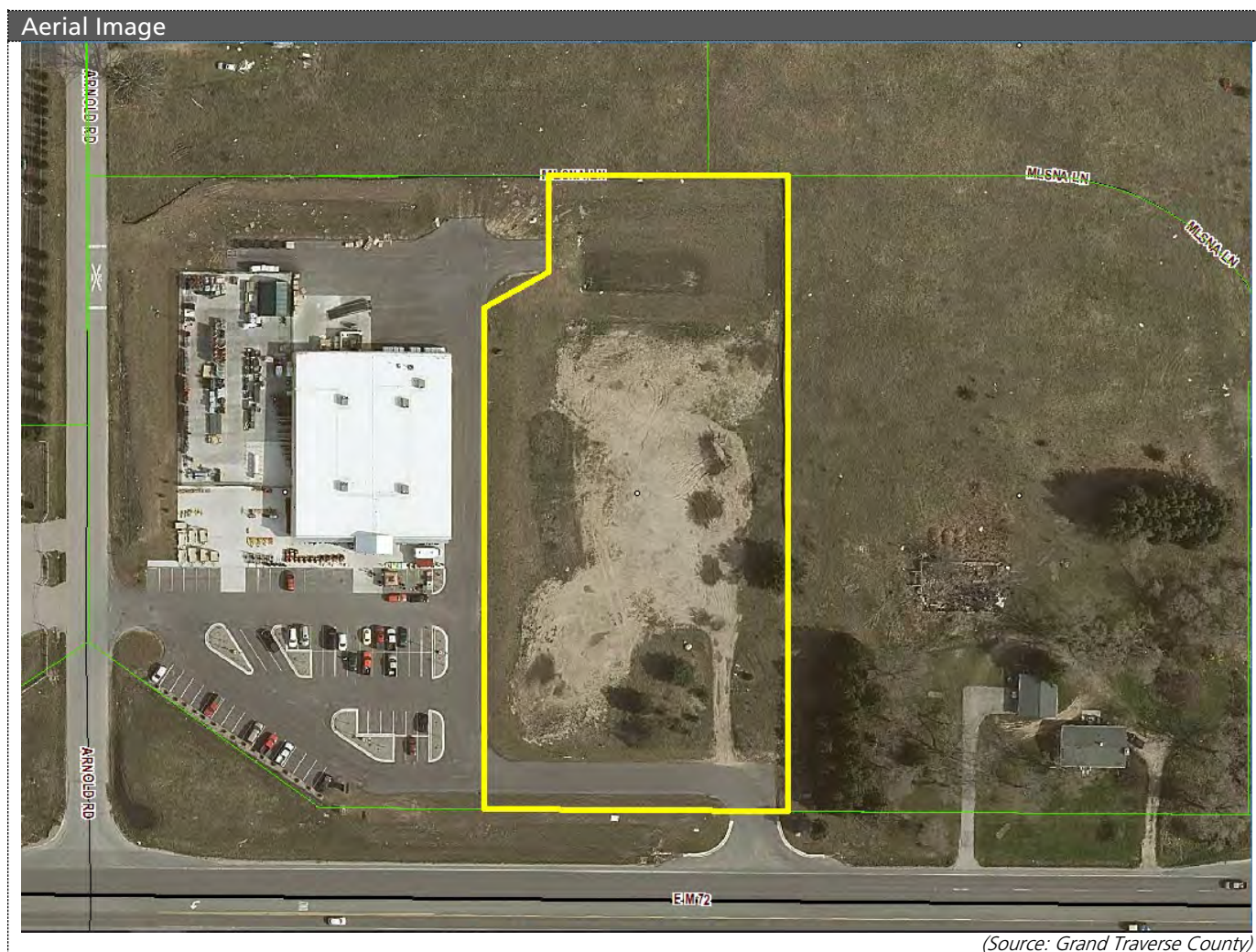
## I. OVERVIEW

### General Description & Recommendation

The Applicant is proposing to build a 4,544 sq ft structure as a licensed medical marihuana provisioning center. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. The property is located off a shared driveway from M-72 that is also utilized by Tractor Supply Co. The site is relatively flat and cleared, consisting primarily of turf.

The proposed use is consistent with the intent and purpose of the zoning district as well as the future land use category. The applicable standards of the zoning ordinance and outside agencies have been satisfied. Minor items have been presented in the report summary for consideration. Approval is recommended with the conditions presented in the suggested motion.

Subject Property Location	
Address	Parcel Number
7053 E M-72	28-01-015-005-08
Legal Description	
PARCEL 2: PART OF SW 1/4 SEC 32 T28N R9W COM AT SW CNR SEC 32 TH N 00D EG 55'01" W 583.51' TH N 89 DEG 10'55" E 375.22' TO POB TH N 89 DEG 10'55" E 193.60' TH S 00 DEG 49'05" E 516.07' TH S 89 DEG 41'17" W 245.98' TH N 00 DEG 54'58" W 406.55' TH N 60 DEG 43'48" E 60.53' TH N 00 DEG 49'05" W 78.60' TO POB SPLIT/COMBINED ON 08/13/2014 FROM 01-015-005-04;	



#### Existing Conditions of Subject Property

Zoning	Area
B-4: Material Processing & Warehousing	2.6518 acres
Existing Uses	
Vacant land. Storm water basin exists in the rear (north) of property.	
Existing Permits / Prior Approvals	
None	
Site Conditions	
Relatively flat, dips approximately 2 – 3 feet from a high point in the center/front towards the rear sides. A few trees on the lot, mostly grass.	

#### Adjacent Zoning & Land Uses

Location	Zoning	Land Use / Owner
Northwest	B-4	Vacant – Green Peak Industries LLC (approved for medical marihuana provisioning center)
Northeast	B-4	Vacant – Michael Savage & Robert O'Keefe

East	B-4	Vacant – George Carol
South	A-1	Vacant – Barbara J Moran Trust
West	B-4	Commercial (Tractor Supply Co.) – Kanaia Investments Inc

### Relationship to Master Plan

#### Future Land Use Category – Light Industrial & Warehousing

The light industrial and warehousing category encompasses land use for light industrial, trade related business and warehousing enterprises in the Township. The existing uses currently are located along state highway M-72 and Bates Road (an area comprising some existing development of higher density industrial and business uses).

The main objectives of the Industrial land use category are to provide for non-intrusive industrial operations in high density areas that stimulate the economic vitality of the Township without negatively impacting the surrounding area, and to provide employment opportunities for residents of the Township and surrounding region. Sound access management planning should be included in any new industrial developments.

The intended uses in this category include, but are not limited to: enclosed wholesale facilities, warehouses, high technology industries, light manufacturing, telecommunications industry, and other non-intrusive industrial enterprises. Land uses in the Industrial area should comport with the policies and actions of the Master Plan.

*(p. 68-69, Acme Township Community Master Plan, adopted June 10, 2019)*

## II. SUBMITTED APPLICATION MATERIALS

The tables below present the items submitted with the application for the proposed project. These items have been reviewed in accordance with the processes set forth in the Zoning Ordinance.

Drawings		
Sheet	Title	Date (revised)
C-0	Cover Sheet	11.07.18
C-1	Topographical Survey	04.19.19 (04.22.19)
C-2	Grading & Utility Plan	04.19.19 (04.22.19) (07.02.19)
C-3	Soil Erosion Plan	04.19.19 (04.22.19) (07.02.19)
C-4	Civil Details Sheet	04.19.19 (04.22.19) (07.02.19)
SP-1	Site Plan, Lighting Plan, & Landscaping Plan	11.07.18 (06.24.19) (07.02.19)
SP-2	Site Details	11.10.18 (07.02.19)
A-1	Floor Plan	11.07.18
A-2	Building Elevations	11.07.18
SUR-1	Site Surveillance Plan Cover Sheet	11.07.18 (07.02.19)
SUR-2	Floor Surveillance Plan Cover Sheet	11.07.18
E-1	Photometric Plan	11.07.18 (06.25.19) (07.02.19)
E-2	Photometric Details 1	11.07.18 (06.25.19) (07.02.19)
E-3	Photometric Details 2	11.07.18 (07.02.19)
E-4	Photometric Details 4	11.07.18 (07.02.19)

Agency Reviews		
Agency	Status	Permit No. (date)
GT Co. Environmental Health Dept. – Well & Septic	Issued (septic)	38949
GT Co. Environmental Health Dept. – SESC	Issued	19-00470
GT Metro Fire Dept.	Favorable Review	P-1222-M6672
MDOT	n/a	n/a
Gosling Czubak Storm Water Management Plan Review	Favorable	n/a
Grand Traverse Band of Ottawa & Chippewa Indians (water)	Approved payment for hook-up	n/a

Additional Documentation	
Submitted With Application Packet	
<ul style="list-style-type: none"> <li>- Site Plan Review Application Form</li> <li>- Escrow Policy Acknowledgement Form</li> <li>- Owner Authorization</li> <li>- Project Narrative</li> <li>- Tractor Supply Drainage Summary and Calculations for Storm Water Management</li> </ul>	

### III. ZONING ORDINANCE REVIEW

Listed below are the applicable sections of the Zoning Ordinance that pertain to the proposed project. Items that do not satisfy the standards required by the Zoning Ordinance have been indicated with **bold, red text**.

Zoning District	
§ 6.11	B-4: Material Processing & Warehousing District
§ 6.11.1	<p><b>Intent and Purpose</b></p> <p>This district is intended to accommodate those industrial uses, warehousing and storage, and related activities that generate a minimum of noise, glare, odors, dust, vibration, air and water pollution, fire and safety hazards, or any other potentially harmful or nuisance characteristics. It is designed to accommodate wholesale, warehouse, agricultural sales and service related businesses and light industrial activities whose operational and physical characteristics do not detrimentally affect any of the surrounding district.</p>
§ 6.11.2	<p><b>Uses Permitted By Right</b></p> <p>i. <b>Medical Marihuana Facilities</b></p> <p>iv. Medical Marihuana Provisioning Center. By right, but that no more than three (3) may be licensed and operating at a given time, and no more than three (3) licenses may be issued.</p> <p><i><b>Note:</b> Acme North Operating LLC currently holds a valid provisioning center license for the B-4 district.</i></p>



**§ 6.13.1 Scheduled Limiting Height, Bulk, Density, and Area by Zoning District**

Standard	Requirement	Site Plan
Minimum Lot Size	n/a	n/a
Minimum Parcel Width	150 ft	245.71 ft
Maximum Height	3 stories / 40 ft	1 story - 15 ft w/ 18 ft parapet wall
Front Setback	60 ft	124 ft
Side Setback	25 ft	25 ft
Rear Setback	44 ft	264 ft
Maximum Lot Coverage	n/a	32.46 %

**§ 7.1.1 Sanitation Requirements**

Standard	Requirement	Site Plan
Meet GT Co. Environmental Health Dept. Ordinance [§7.1.1(a)]	System meeting agency ordinance standards	1,200 DBL holding tank system with 750 sq ft drain bed.

**§ 7.4 Signs**

Standard	Requirement	Site Plan
Regulations by Zone – B-4 Zoning District [§7.4.6(e)]	Various – will be reviewed separately. Site Plan review approval does not authorize any proposed signage	None indicated

**§ 7.5 Off-Street Parking & Loading Regulations**

Standard	Requirement	Site Plan
Parking Required [§7.5.1(b)]	On the same lot or within 300 ft	Parking provided on site
Parking Spaces Required [§7.5.3(c)(14)]	Min. – 5 spaces Max. – 23 spaces	22 parking spaces, including one handicapped parking space
Off-Street Parking Location [§7.5.4(a)]	Located in rear or side yard	Proposed parking located in side yard
Maneuvering Lanes & Space Dimensions [§7.5.4(b)(1)]	Lane Width (min.) – 20 ft Space Width (min.) – 9 ft Space Length (min.) – 20 ft	Lane Width – 20 ft Space Width – 9 ft Space Length – 20 ft
Parking Access Means [§7.5.4(b)(2)]	Maneuvering lanes, no backing up into streets	Access provided via shared easement off M-72. Adequate maneuvering lanes space
Driveways [§7.5.4(b)(3)]	Clearly defined driveways that do not cross residentially zoned land	New driveway off easement; does not cross other lots
Driveway Spacing [§7.5.4(b)(4)]	25 ft from parcel zoned for single-family dwellings	Surrounding properties zoned B-4
Surface Materials [§7.5.4(b)(5)]	Seal coat, black top, or equivalent; durable, dustless surface	Asphalt surface
Lighting [§7.5.4(b)(6)]	Adequate parking lot lighting during operation, down- and shield-lighting	Adequate parking lot lighting provided

§ 7.5 Off-Street Parking & Loading Regulations		
Standard	Requirement	Site Plan
Buffering, Landscaping & Screening – Buffer Strip [§7.5.4(c)(1)]	Parking lots screened by planting strips on all sides visible by neighboring properties	Adequately screened per ordinance
Buffering, Landscaping & Screening – Plantings [§7.5.4(c)(2)]	a. 10' buffer along ROW b. 6 evergreen/canopy trees between parking & ROW c. 36" high continuous screen of hedge/berm/wall between parking & ROW d. 6' high (min) screened refuse receptacle w/ shrubs or vines	a. 30' buffer b. 9 total (8 white pine; 1 red maple) c. Continuous screen of pines, shrubs and bushes d. 6' high screened refuse receptacle with plantings
Buffering, Landscaping & Screening – Treed Islands, Snow Storage [§7.5.4(c)(3)]	a. 1 canopy tree in island per 10 spaces, distributed evenly through parking lot b. 2 canopy trees in islands at the ends of each parking row c. n/a d. Designated snow storage area	a. 2 treed islands as required b. Required treed islands at ends of rows present c. n/a d. 3,600 sq ft
Loading Zone [§7.5.5(a)]	10' x 55' loading zone; 14' vertical clearance	12' x 55' loading zone; no overhead obstacles
Loading Approach Surface [§7.5.5(b)]	Asphaltic or cement binder	6" reinforced concrete pad
Loading Access [§7.5.5(c)]	Direct access off public street or service drive	Accessible from driveway off shared easement
Loading Location [§7.5.5(d)]	Located in rear yard only; side yard with PC approval	Located in rear yard
Loading Interference [§7.5.5(e)]	Shall not interfere with parking spaces	Does not interfere with parking spaces
Loading Screening [§7.5.5(f)]	Screened from public ROW, adjacent office or residential districts	Not visible from ROW; adjacent B-4 properties

§ 7.5.6 Landscaping		
Standard	Requirement	Site Plan
Application [§7.5.6(b)(1-6)]	Landscape plan requirements	Landscape plan incorporated into site plan (SP-1 & Sp-2)
Standards & Criteria [§7.5.6(c)]	Planting Standards	Applicable standards met
Planting Materials [§7.5.6(d)]	Non-invasive, native species	All species are appropriate
Buffers [§7.5.6(e)]	Required adjacent to R-1, R-2, R-3, R-1MH, A-1 districts	Not applicable, surrounded by B-4

§ 7.5.6 Landscaping		
Standard	Requirement	Site Plan
ROW Landscaping [§7.5.6(f)]	1. 10' buffer along ROW 2. 10 trees and 51 shrubs per 246 lineal ft adjacent to ROW; grouping encouraged but spacing not to exceed 35 ft 3. 3' tall continuous landscape scree, opaque fence, berm or combination along ROW	1. 30' buffer 2. 16 trees and 50+ shrubs, forming a continuous screen 3. Screening provided by trees and shrubs
Completion Bond [§7.5.6(j)]	Completion bond, letter of credit, cash deposit, or certified check in the amount of labor & materials prepared by a landscaper	<b>No estimate or performance guarantee provided</b>

§ 7.8 Exterior Lighting		
Standard	Requirement	Site Plan
Regulations By Zone – B-4 Zoning District [§7.8.3(a)(1)]	Downlighting, cut-off shielding, efficient, minimum amount necessary, lighting hours	<b>Excessive lighting proposed on building façade; no indication of hours lights will be turned on</b>

§ 7.11 Medical Marihuana Facilities		
Standard	Requirement	Site Plan
License Requirements [§7.11.2(a)]	Facility must have a valid license by Acme Twp & the State	Applicant has Acme Twp license; <b>will not be able to operate until state license is issued</b>
Distance Buffers [§7.11.2(b)(1-4)]	1,000 ft buffer between specific uses	Not within 1,000 ft of any listed uses

#### IV. SITE PLAN REVIEW

The table below presents the required elements for a site plan review per the Zoning Ordinance, whether included in the site plan drawings, written narrative, or both. A "Yes" indicates item is required and is accounted for; a "No" indicates a missing required item. A cell marked "---" indicates an item that is not required in the site plan drawings and/or narrative.

§ 8.1.4 Application Requirements			
Item	Description	Shown on Site Plan	Written Documentation
1.	A description of the environmental characteristics of the site prior to development, i.e.: topography, soils, vegetative cover, drainage, streams, creeks or ponds, as well as, the delineation of these features on the site plan drawing.	Yes	Yes
2.	Types of uses and other man-made facilities	---	Yes

§ 8.1.4 Application Requirements			
Item	Description	Shown on Site Plan	Written Documentation
3.	The number of people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic	---	Yes
4.	Phasing of the project, including ultimate development proposals	Yes	Yes
5.	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water.	Yes	---
6.	The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.	---	Yes
7.	The method to be used to serve the development with water and sanitary sewer facilities	---	Yes
8.	The location, size, and routing of water and sanitary sewer facilities	Yes	---
9.	Plans for storm water control and drainage, including measures to be used during construction	Yes	---
10.	Storm water calculations; and if requested storm water modeling data	Yes	Yes
11.	If public sewers are not available to the site, the applicant shall submit a current approval from the health department or other responsible public agency indicating approval of plans for sewage treatment.	---	Yes
12.	The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.	---	Yes
13.	An indication of how the proposed use conforms to existing and potential development patterns and any adverse effects	---	Yes
14.	Location of known Air Sheds and how the proposed use impacts this natural feature.	---	Yes
15.	Plans to control soil erosion and sedimentation.	Yes	Yes
16.	Incorporation of low impact development storm water technologies and other best management practices such as, but not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered storm water structures.	Yes	Yes
17.	Type, direction, and intensity of outside lighting shown on a photometric plan in compliance with exterior lighting standards.	Yes	Yes
18.	Location of any or required cross access management easements.	Yes	---
19.	Location of pedestrian and non-motorized facilities; if required.	Yes	---
20.	Landscaping plan	Yes	---
21.	General description of deed restrictions and/or cross access management easements, if any or required.	---	Yes

§ 8.1.4 Application Requirements			
Item	Description	Shown on Site Plan	Written Documentation
22.	Name(s) and address(es) of person(s) responsible for preparation of site plan drawings and supporting documentation.	Yes	Yes
23.	Sealed drawings from a licensed architect, engineer, or landscape architect.	Yes	---

§ 8.2 Standards for Site Plan Review	
Standard	Finding
a. That the applicant may legally apply for site plan review.	<b>Satisfied:</b> The Applicant has authority to apply for the site plan review
b. That all required information has been provided.	<b>Satisfied:</b> All required items have been submitted.
c. That the proposed development conforms to all regulations of the zoning district in which it is located and all other applicable standards and requirements of this ordinance, including but not limited to all supplementary regulations.	<b>Satisfied:</b> All regulations have been met. Please see items noted in the report summary below.
d. That the plan meets the requirements of Acme Township for fire and police protection, water supply, sewage disposal or treatment, storm, drainage, and other public facilities and services.	<b>Satisfied:</b> Gosling Czubak – favorable GT Metro – favorable Soil Erosion – favorable Health Dept (septic) – favorable GTB (water) – favorable
e. That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.	<b>Satisfied:</b> MDOT has previously approved the shared driveway. No other agency reviews required.
f. That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.	<b>Satisfied:</b> the site does not include sensitive natural areas; disturbance primarily on the front half of the parcel where the structures will be located.
g. That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property.	<b>Satisfied:</b> no floodplains present.
h. That the soil conditions are suitable for excavation and site preparation, and that organic, wet, or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.	<b>Satisfied:</b> No issues identified through site plan review, stormwater, or soil erosion review processes
i. That the proposed development will not cause soil erosion or sedimentation problems.	<b>Satisfied:</b> SESC permit approved
j. That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff and will not cause undue runoff onto neighboring property or overloading of water courses in the area.	<b>Satisfied:</b> Gosling Czubak review did not identify any concerns with the stormwater runoff system

§ 8.2 Standards for Site Plan Review	
Standard	Finding
k. That grading or filling will not destroy the character of the property or the surrounding area and will not adversely affect the adjacent or neighboring properties.	<b>Satisfied:</b> no grading or fill of significance proposed.
l. That structures, landscaping, landfills or other land uses will not disrupt air drainage systems necessary for agricultural uses.	<b>Satisfied:</b> no airsheds in the vicinity of the site.
m. That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage, or erosion control.	<b>Satisfied:</b> project will be completed in a single phase.
n. That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems, and water and sewage facilities.	<b>Satisfied:</b> Shared drainage basin has more than enough capacity to accommodate proposed development; water hook-up has been approved; existing driveway approved by MDOT.
o. That landscaping, fences or walls may be required when appropriate to meet the objectives of this Ordinance.	<b>Satisfied:</b> landscaping exceeds requirements of applicable standards.
p. That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.	<b>Satisfied:</b> parking lot configuration provides appropriate ingress/egress
q. That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.	<b>Satisfied:</b> parking lot clearly delineates vehicular and pedestrian circulation.
r. That outdoor storage of garbage and refuse is contained, screened from view, and located so as not be a nuisance to the subject property or neighboring properties.	<b>Satisfied:</b> refuse receptacle is screened with an appropriate wall with vegetation around it.
s. That the proposed site is in accord with the spirit and purpose of this Ordinance, and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.	<b>Satisfied:</b> the site plan is consistent with the future land use category and intent of the district.

## V. REPORT SUMMARY

The Applicant is proposing to construct an approximately 4,544 sq ft building to be used as a licensed medical marihuana provisioning center in the B-4: Material Processing & Warehousing District. The use is allowed by right and consistent with the intent and purpose of the Light Industrial & Warehousing future land use category in the master plan. The Applicant's client does possess a valid license for the use by



Acme Township. The site has no significant natural features, is relatively flat, primarily grass and undeveloped.

Overall, the site plan is consistent with the Industrial future land use category from the master plan, as well as the Intent and Purpose of the district. The Applicant has worked with staff and revised the plans according to the zoning ordinance standards and recommendations. There are only a few minor items that should be addressed as outlined below.

### **Exterior Lighting**

The parking lot light poles do not indicate their height. The height should be limited to that of the building, in this case fifteen (15) feet measured to the top of the luminaire. Additionally, the exterior lighting on the façade of the building is excessive, consisting of both decorative gooseneck style lighting and wallpacks surrounding the building. Wallpack lighting should be limited only to locations above entry/exit doors and loading doors. The parking lot lights and gooseneck lights should be shut off outside of hours of operation when no customers and staff are present, with wallpack lighting being allowed to stay on for security purposes.

### **Storm Water Management**

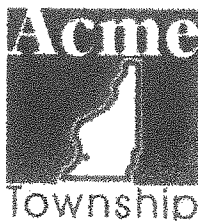
The stormwater management system has been reviewed and meets the ordinance requirements as designed, per the Gosling Czubak review. The system collects into a shared drainage basin that is also utilized by Tractor Supply Co, and the volume can easily accommodate the additional runoff. It is interesting on the east side that the curbing extends to the edge of the lawn area and includes the catch basins within the grass. As the stormwater review pointed out, the design looks like it is set to accommodate additional parking in the future which would exceed the pipe size limit proposed. The size of the building and use will only allow for one more parking space to be added per the zoning ordinance and shouldn't produce any future issues.

### *Suggested Motion for Consideration:*

Motion to approve Site Plan Review 2019-07 for the construction of a 4,544 square-foot medical marihuana provisioning center to be located at 7053 E M-72, Williamsburg, MI 49690, with the following conditions that shall be met:

1. Parking lot poles shall be limited to fifteen (15) feet in height, measured to the top of the luminaire;
2. Wallpack lighting shall be limited to locations above exit/entry doors and loading doors;
3. Parking lot lights and decorative gooseneck lighting on the façade be turned off outside the business' hours of operation when no customers or staff are present.
4. Before issuing a land use permit:
  - a. The Applicant shall submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor costs to install the plantings on the landscape plan, with the costs prepared by a professional landscaper; and
  - b. Submit a printed set of full-size plans sealed by a licensed engineer, architect, or landscape architect and signed by the Applicant and the Planning Commission Chair.

Application Number: MM-2018-07-  
B4-PC



### Special Use Permit/Site Plan Review Application

Township of Acme, Grand Traverse County, Michigan

6042 Acme Road, Williamsburg, MI 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

Planning & Zoning Administrator: Shawn Winter Email: [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

#### Owner Information (please type or print clearly):

Name: Ammar Kattoula Phone: 586-436-4976  
Mailing Address: 20700 Harper Ave  
City: Harper Woods State: MI Zip: 48225  
Email Address: a.kattoula@gmail.com

#### Applicant Information (please type or print clearly):

Name: Ammar Kattoula Phone: 586-436-4976  
Mailing Address: 20700 Harper Ave  
City: Harper Woods State: MI Zip: 48225  
Email Address: a.kattoula@gmail.com

#### A. Property Information:

1. Address: 7053 E M72  
Williamsburg, MI 49690
2. Parcel Number/Property Description: vacant land
3. Current Zoning of Property: B-4
4. If this project is one phase of a larger development and/or property subject to an existing/previous Site Plan Review, Special Use Permit, or Variance, what is/are the applicable permit number(s)?  
n/a
5. Provide proof of current property ownership. If applicant is not the current property owner, also provide written permission to act as agent of, and complete contact information for the current property owner.

Application Number: MM-2018-07-B4-PC**6. Proposed Use/Change to Property**Provisioning Center**7. Estimated Start and Completion Dates:** April 12, 2019Completion: April 26, 2019**B. Application Packet Requirements: REFER TO ACME TOWNSHIP ZONING ORDINANCE AND COMPLETE ATTACHED CHECKLIST****C. Fees:** Include initial fee as required by the Acme Township Ordinance #2004-01**D. Fee Escrow Policy Acknowledgement:** Provide completed and signed form with initial escrow fee deposit.

**E. Affidavit:** The undersigned affirms that he/she is the \_\_\_\_\_ (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future Special Use Permit and Zoning Ordinance compliance.

Signed: \_\_\_\_\_

Amanda Katter3/29/2019

Date: \_\_\_\_\_

**FOR TOWNSHIP USE ONLY**

Application Number: \_\_\_\_\_

Date Received: \_\_\_\_\_

Public Hearing/Meeting: \_\_\_\_\_

Date of Advertising: \_\_\_\_\_

T&amp;A Account: \_\_\_\_\_

**NOTES:**



**PCS SERVICES, INC.**  
21970 Trufant Ct.  
Woodhaven, Michigan 48183  
1-734-320-5345 cell  
([dncacioppo@yahoo.com](mailto:dncacioppo@yahoo.com))



ACME TOWNSHIP  
Planning and Zoning Administrator  
Shawn Winter  
6042 Acme Road  
Williamsburg, Michigan 49690

Re: Planning Commission Meeting July 8,2019

Mr. Winter

Find attached (2) set of prints for the project located at 7053 E. M72 Acme Provisioning. Any questions or concerns please email me or call anytime at: 1-734-320-5345.

Also In my previous email I asked if I can make one check for \$ 3,000.00 or do you require 2 separate checks. (\$500.00 for plan Review) and (\$2,500.00 for Escrow?

Thank you,

David Cacioppo  
PCS Services, Inc.  
President

Authorization Letter

To,  
David Cacioppo  
*PCS Services Inc.*

Date: 5/17/19

Dear Sir/Madam,

Sub: Authorization letter

This is to certify that I authorize Mr. Cacioppo of *PCS Services Inc.* to submit, collect documents, and pull permits needed for the project located at:  
Acme Provisioning 7053 East M72 Williamsburg, Michigan 49690 on behalf of:  
**Ammar Kattoula**

Thanking you,



Ammar Kattoula

Email: [akattoula@gmail.com](mailto:akattoula@gmail.com)  
Mobile: (586)-436-4976

**PCS SERVICES, INC.**

21970 Trufant Ct  
Woodhaven, Michigan 48183  
(dncacioppo@yahoo.com)  
1-734-320-5345 cell

June 26, 2019

Acme Township  
6042 Acme Rd  
Williamsburg, Michigan 49690  
Lindsey Wolf

Re: Acme Provisioning Site Plan Review

Hi Lindsey;

Provided the updated plans and changes per requested review via digital copies. Will provide hard copies sealed and stamped before meeting per request. Also wanted to supply answers from the Application Requirements review completed June 24, 2019.

Item # 2 Medical Marijuana

Item # 3a	Number of people to be housed:	None
3b	Number of people employed:	15 Employees
3c	Number of visitors or Patrons:	100 per day
3d	Vehicular Traffic:	40 cars per day
3e	Pedestrian Traffic:	None

Item # 6 See site plan submitted.

Item # 7 Water line to be supplied by Grand Traverse Indians. (Water Dept) Approved waiting on sent check \$ 4,020.00

Item # 11 Septic by Grand Traverse County Health Approved waiting on sent Check \$ 560.00

Item # 12 Does not apply

Item # 13 Confirms with the current Medical Marijuana guidelines.

Item # 14 None at this time.

Item # 15 See (Soil Erosion maintenance plan submitted to Grand Traverse County Health) Approved waiting on sent Check \$ 940.00

Item # 21 Deed Restrictions and or easements with tractor supply as recorded for drainage. See site plan drawings.

Grand Traverse County Health Approved waiting on sent check escrow fee \$ 4,000.00

Acme Township Paid \$ 500.00 plan review and Paid \$ 2,500.00 escrow fee.

If you need any other information please feel free to call or email me anytime.

Thank you,

*David Cacioppo*

David Cacioppo  
PCS Services, Inc.  
President



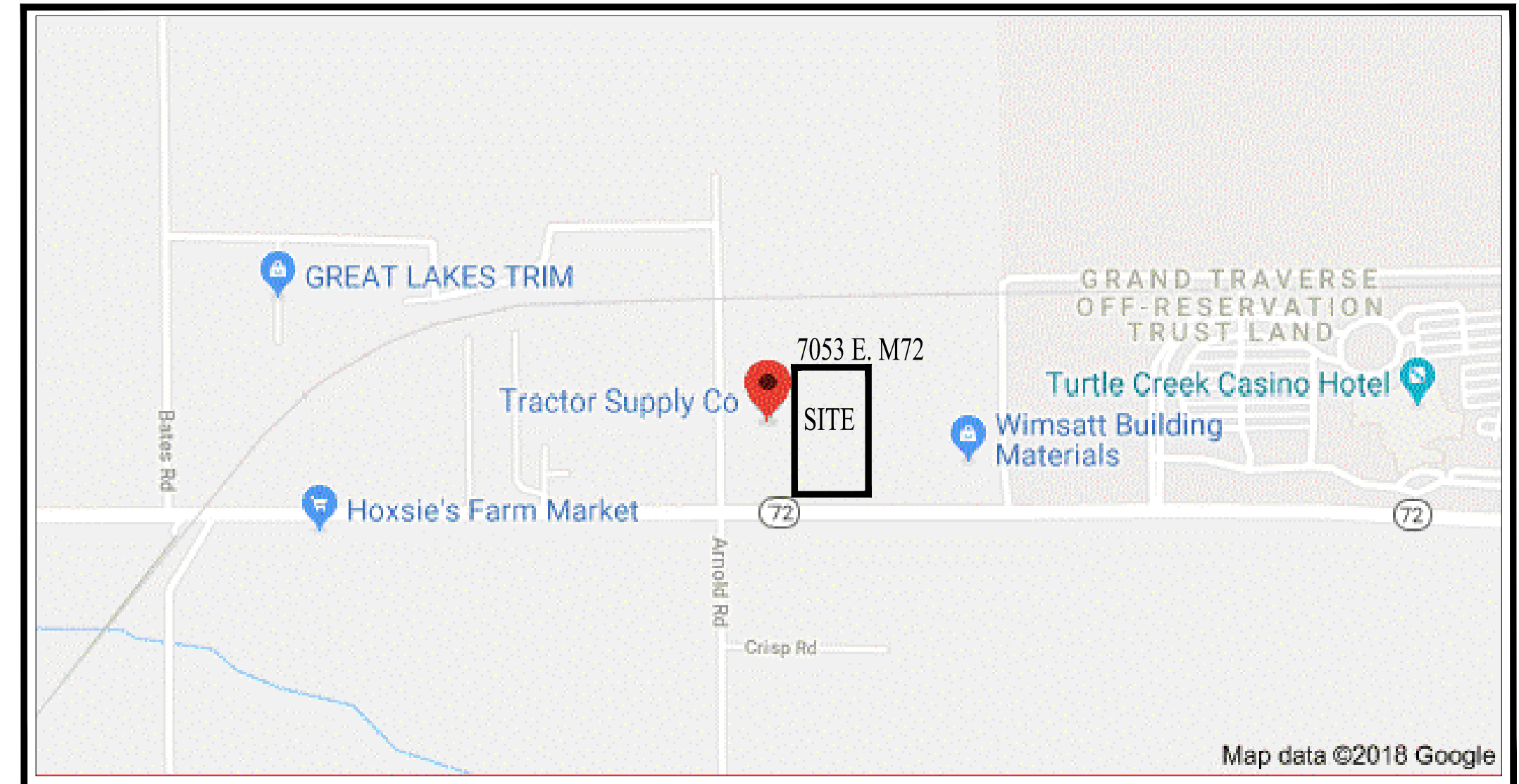
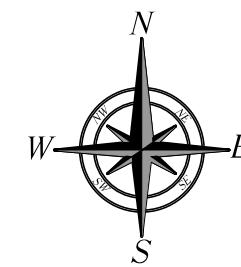
# PROJECT NAME: ACME PROVISIONING

PROJECT ADDRESS: 7053 E. M72  
WILLIAMSBURG, MICHIGAN 49690  
PROJECT OWNER: AMMAR KATTOULA  
CONTACT INFORMATION: 1586.4364976. email: akattoula@gmail.com

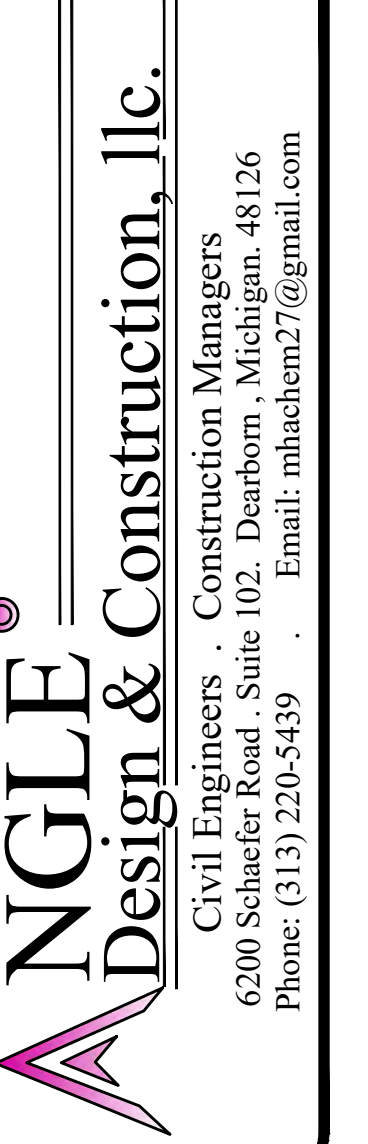
PREPARED BY: ANGLE DESIGN & CONSTRUCTION, LLC  
ADDRESS: 6200 SCHAEFER ROAD  
DEARBORN, MICHIGAN 48126  
CONTACT INFORMATION: 1313.220.5439. email: mhachem27@gmail.com

## INDEX:

C-0	COVER SHEET
C-1	TOPOGRAPHICAL SURVEY
C-2	GRADING AND UTILITY PLAN
C-3	SOIL EROSION PLAN
C-4	CIVIL DETAILS SHEET
SP-1	SITE PLAN, LIGHTING PLAN & LANDSCAPING PLAN
SP-2	SITE DETAILS
A-1	FLOOR PLAN
A-2	BUILDING ELAVATIONS
SUR-1	SITE SURVEILLANCE PLAN COVER SHEET
SUR-2	FLOOR SURVEILLANCE PLAN COVER SHEET
E-1	PHOTOMETRIC PLAN
E-2	PHOTOMETRIC DETAILS 1
E-3	PHOTOMETRIC DETAILS 2
E-4	PHOTOMETRIC DETAILS 4



## SITE KEY MAP



7053 EAST M72		Scale: 1" = 30'	Drawn By: MH
WILLIAMSBURG, MI 49690			Approved By:
		Date: 11/07/2018	Drawing No. : C-0

COVER SHEET

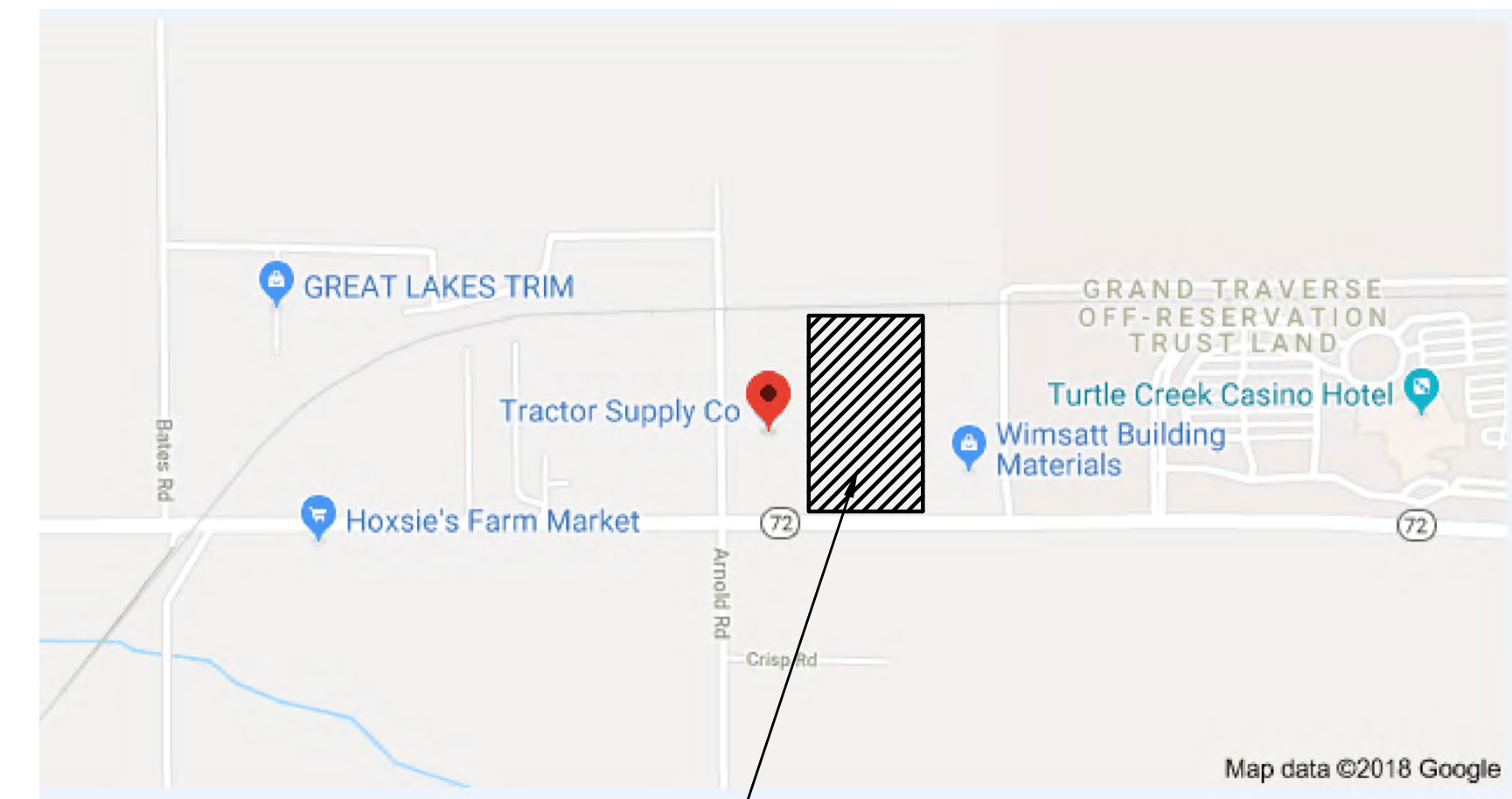
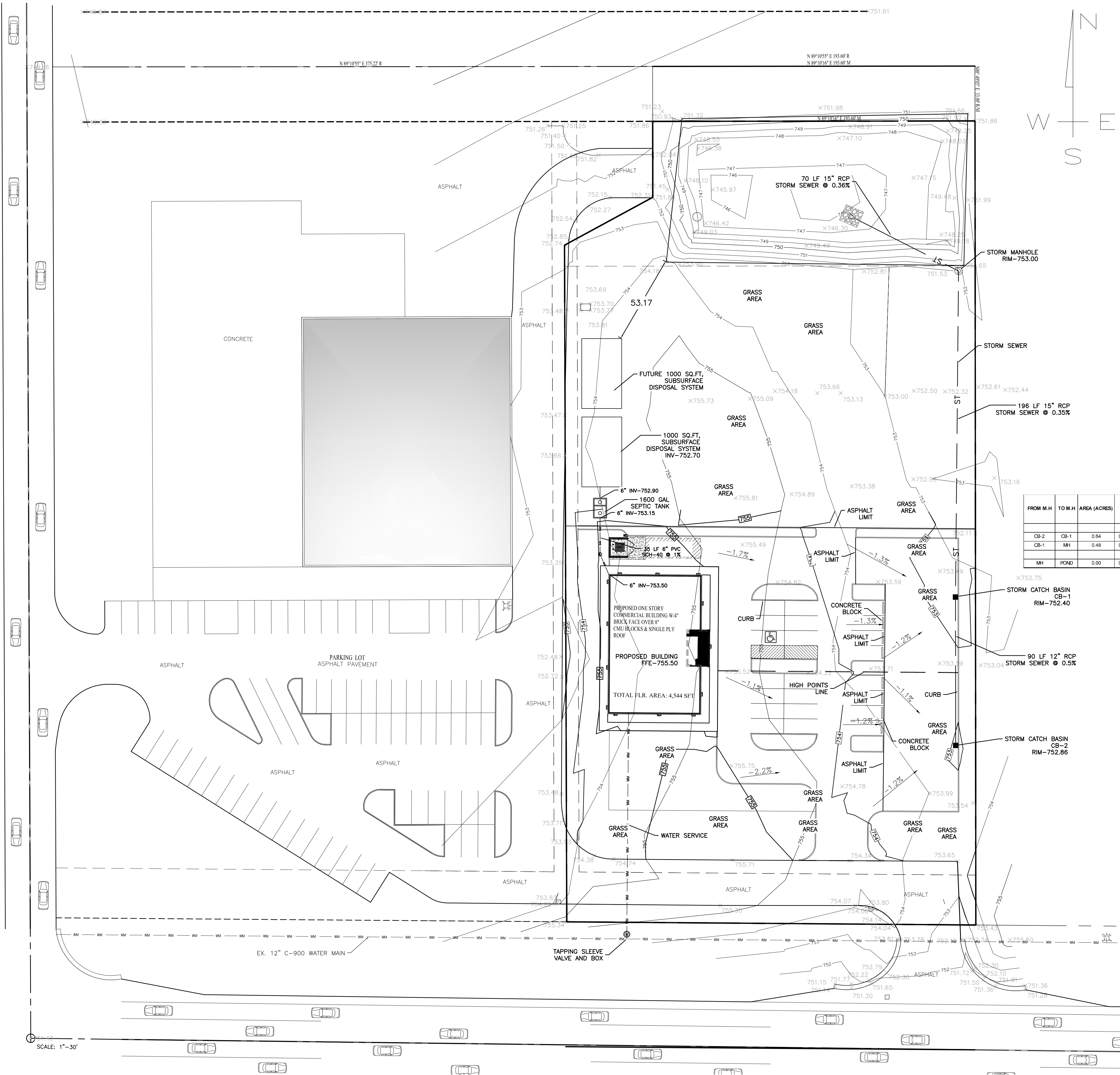
ENGINEER SEAL

[illegible]









PROJECT LOCATION

STORM WATER DETENTION:

-EXISTING DETENTION BASIN WAS DESIGNED TO INCLUDED 88,000 SQ. FEET OF IMPERVIOUS AREA FROM THIS SITE AND THE ACTUAL IMPERVIOUS AREA GENERATED FROM PHASE ONE IS 37,500 SQ. FT. (SEE ATTACHED REPORT)

FROM M.H.	TO M.H.	AREA (ACRES)	C	(C/A)	ACRES	TOTAL (C/A) ACRES	T TIME MIN	INCH PER HOUR	Q-CIA cfs	DIA OF PIPE INCH	PIPE AREA FT <sup>2</sup>	SLO P %	LENGTH OF PIPE FT	CAPACITY OF SEWER C.F.S	VEL. FULL FLOW FT/S	TIME OF FLOW MIN	CAPACITY OF SEWER C.F.S	H.G. ELEV. UPPER END	RIM ELEV. UPPER ELEV	LOWER ELEV	INVERT ELEV. UPPER END	LOWER END	COVER	U.S.	D.S.	U.S.	D.S.	RIM - HGL	DS - HGL
CB-2	CB-1	0.64	0.65	0.42	0.42	0.42	15.00	4.35	1.82	12.00	0.79	0.50	90	2.53	3.22	0.47	2.53	0.45	752.85	752.40	747.38	746.93	4.23	4.22	748.10	747.87	4.76	4.53	
CB-1	MH	0.48	0.65	0.31	0.73	0.73	15.47	4.29	3.14	15.00	1.23	0.35	196	3.82	3.11	1.05	3.82	0.74	752.40	753.00	746.93	746.25	4.22	5.50	747.87	747.41	4.53	5.59	
MH	POND	0.00	0.00	0.00	0.73	16.52	4.17	3.05	15.00	1.23	0.36	70	3.87	3.15	0.37	3.87	0.27	753.00	752.00	746.25	746.00	5.50	4.75	747.41	747.25	5.59	4.75		

PRELIMINARY NOT FOR CONSTRUCTION

LEGEND

- PROP. GV & W; OR T S V & W
- EX. GV & W; OR T S V & W
- PROP. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. SANITARY MH
- EX. SANITARY MH
- CLEANOUT
- PROP. MANHOLE
- EX. MANHOLE
- PROP. REAR YARD CB
- PROP. CATCH BASIN
- EX. CATCH BASIN
- END SECTION
- STROM SEWER STRUCTURE NUMBER
- SANITARYSEWER STRUCTURE NUMBER
- EXISTING SHRUB
- EXISTING LIGHTING POLE
- PUBLIC PHONE
- TELEPHONE MANHOLE
- PROPOSED RIP-RAP
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED GRASS

FG-xxx.xx = PROPOSED FINISH GRADE  
TC-xxx.xx = PROPOSED TOP & GUTTER  
GU-xxx.xx

MEDICAL MARIHUANA PROVISIONING FACILITY  
7053 EAST MT2  
WILLIAMSBURG, MI 49690

GRADING AND UTILITIES PLAN

ENGINEER SEAL

SYN	DATE	DESCRIPTION	BY	APPD
	04/22/2019	SITE PLAN		
	07/02/2019	REVISED SITE PLAN		

Proj. No. 041919	Scale: 1" = 30'	Drawn By: FK	Approved By:
Date: 04/19/2019			C-2

Drawing No. :

Scale: 1" = 30'

Drawn By: FK

Approved By:

C-2

Date: 04/19/2019

Project: MEDICAL MARIHUANA PROVISIONING FACILITY

Address: 7053 EAST MT2

City: WILLIAMSBURG, MI 49690

Client: MEDICAL MARIHUANA PROVISIONING FACILITY

Project Manager: [Name]

Engineer: [Name]

Checker: [Name]

Scale: 1" = 30'

Drawn By: FK

Approved By:

C-2

Date: 04/19/2019

Project: MEDICAL MARIHUANA PROVISIONING FACILITY

Address: 7053 EAST MT2

City: WILLIAMSBURG, MI 49690

Client: MEDICAL MARIHUANA PROVISIONING FACILITY

Project Manager: [Name]

Engineer: [Name]

Checker: [Name]

Scale: 1" = 30'

Drawn By: FK

Approved By:

C-2

Date: 04/19/2019

Project: MEDICAL MARIHUANA PROVISIONING FACILITY

Address: 7053 EAST MT2

City: WILLIAMSBURG, MI 49690

Client: MEDICAL MARIHUANA PROVISIONING FACILITY

Project Manager: [Name]

Engineer: [Name]

Checker: [Name]

Scale: 1" = 30'

Drawn By: FK

Approved By:

C-2

Date: 04/19/2019

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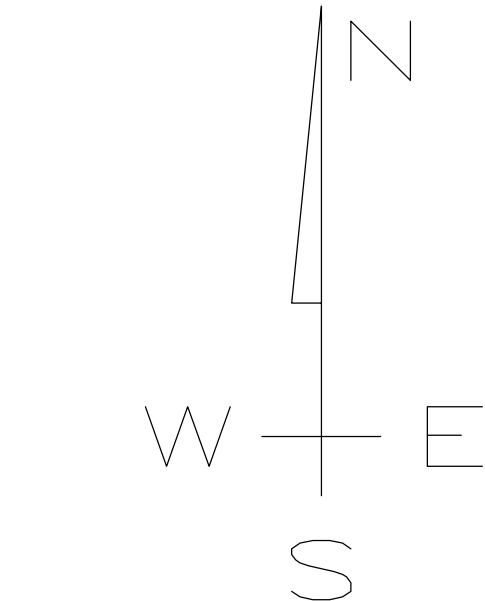
C-2

Date: 04/19/2019

Project: MEDICAL MARIHUANA PROVISIONING FACILITY

Address: 7053 EAST MT2





7 SOIL EROSION AND SEDIMENTATION CONTROL  
REFER TO NUMBERED CONTROL MEASURES  
BASED ON MDOT

PRELIMINARY NOT FOR CONSTRUCTION

SOIL EROSION AND SEDIMENTATION CONTROL NOTES  
TOTAL DISTURBED EARTH AREA: 4.89 ACRES

CONTRACTOR SHALL OBTAIN A COPY OF THE SOIL EROSION PERMIT FOR THIS PROJECT AND FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS THEREOF PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTH CHANGE ACTIVITIES.

CONTRACTOR SHALL OBTAIN A COPY OF THE ACME TOWNSHIP  
STORMWATER CONTROL ORDINANCE AND FAMILIARIZE THEMSELVES  
WITH THE APPLICABLE PROVISIONS OF SECTION G. "SOIL EROSION  
CONTROL-TEMPORARY AND PERMANENT".

STORMWATER RUNOFF CONTROL AND SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE GRADING, FILLING OR REMOVAL OF VEGETATIVE COVER IS INITIATED.

EARTH CHANGES SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACITABLE.

CONTRACTOR SHALL INSPECT ALL SOIL EROSION CONTROL MEASURES DAILY AND IMMEDIATELY FOLLOWING A STORM EVENT AND REPLACE OR REPAIR AS NEEDED.

INFILTRATION BASIN MAINTENANCE REQUIREMENTS  
OWNER OF THIS FACILITY SHALL INSPECT INFILTRATION FOREBAY AT LEAST ANNUALLY AND IMMEDIATELY FOLLOWING A MAJOR STORM EVENT TO DETERMINE SEDIMENT DEPTH IN FOREBAY AND IMMEDIATELY REMOVE SEDIMENT WHEN SEDIMENT LEVEL REACHES A DEPTH OF 12".




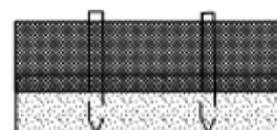
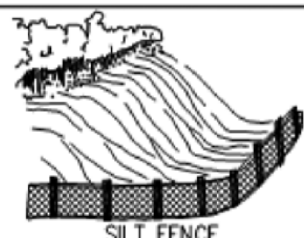

## SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

# APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ( COMPREHENSIVE DETAILS ARE LOCATED IN SECTION 6 OF THE MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL )

A = SLOPES  
B = STREAMS AND WATERWAYS  
C = SURFACE DRAINAGEWAYS  
D = ENCLOSED DRAINAGE (INLET & OUTFALL CONTROL)  
E = LARGE FLAT SURFACE AREAS  
F = BORROW AND STOCKPILE AREAS  
G = DNRE PERMIT MAY BE REQUIRED

MICHIGAN D.O.T.  
SOIL EROSION & SEDIMENTATION  
CONTROL MEASURES

DOCUMENT: R-96-E  
EDITION 2010

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
3	 PERMANENT/TEMPORARY SEEDING	INEXPENSIVE BUT EFFECTIVE EROSION CONTROL MEASURE TO STABILIZE FLAT AREAS AND MILD SLOPES. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUMES. PROPER PREPARATION OF THE SEED BED, FERTILIZING, MULCHING AND WATERING IS CRITICAL TO ITS SUCCESS.	•		•		•		
			A	B	C	D	E	F	G
7	 RIPRAP	USED WHERE VEGETATION CANNOT BE ESTABLISHED. VERY EFFECTIVE IN PROTECTING AGAINST HIGH VELOCITY FLOWS. SHOULD BE PLACED OVER A GEOTEXTILE LINER.	•	•	•	•			•
			A	B	C	D	E	F	G
14	 GRAVEL ACCESS APPROACH	PROVIDES A STABLE ACCESS TO ROADWAYS MINIMIZING FUGITIVE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS.	•				•	•	
			A	B	C	D	E	F	G
25	 SAND FENCE AND DUNE STABILIZATION	A SAND FENCE TRAPS BLOWING SAND BY REDUCING WIND VELOCITIES. CAN BE USED TO PREVENT SAND FROM BLOWING ONTO ROADS. MUST BE MAINTAINED UNTIL SAND SOURCE IS STABILIZED.	•				•	•	
			A	B	C	D	E	F	G
26	 SILT FENCE	A PERMEABLE BARRIER ERECTED BELOW DISTURBED AREAS TO CAPTURE SEDIMENTS FROM SHEET FLOW. CAN BE USED TO DIVERT SMALL VOLUMES OF WATER TO STABLE OUTLETS. INEFFECTIVE AS A FILTER AND SHOULD NEVER BE PLACED ACROSS STREAMS OR DITCHES WHERE FLOW IS CONCENTRATED.	•				•	•	
			A	B	C	D	E	F	G
27	 PLASTIC SHEETS OR GEOTEXTILE COVER	PLASTIC SHEETS CAN BE USED TO CREATE A LINER IN TEMPORARY CHANNELS. CAN ALSO BE USED TO CREATE A TEMPORARY COVER TO PREVENT EROSION OF STOCKPILED MATERIALS.	•	•	•			•	
			A	B	C	D	E	F	G

MEDICAL MARIHUANA PROVISIONING FACILITY	
7053 EAST M72	
WILLIAMSBURG, MI 49690	
Proj. No. 04/19/19	Scale: 1" = 30'
Date: 04/19/2019	Drawing No. : C-3
DRAWN BY: FK Approved By:	

## SOIL EROSION PLAN

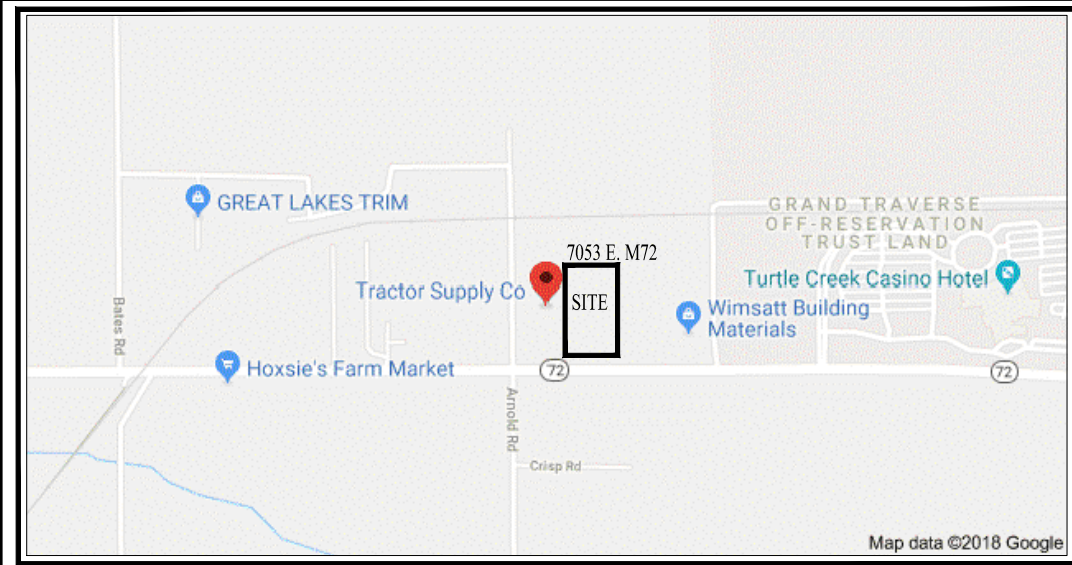
ENGINEER SEA

REVISIONS				
SYM	DATE	DESCRIPTION	BY	APPD
	04/22/2019	SITE PLAN		
	07/02/2019	REVISED SITE PLAN		









SITE KEY MAP

**DEVELOPMENT INFORMATION**

SITE ZONING: B-4 (MATERIAL PROCESSING & WAREHOUSING) M-72 CORRIDOR  
SITE SIZE: 2245.98 FT X 115514.50 SQFT OR 2.6518 ACRES  
EXISTING LEGAL USE: VACANT LAND (UNDEVELOPED)  
PROPOSED USES: NEW BUILDING (MEDICAL MARIHUANA PROVISIONING FACILITY)  
PROPOSED TOTAL FLOOR AREA: 4,544 SQFT  
PARKING SPACES REQ'D FOR MMPF AREA: 4,544/200 = 23 SPACES  
TOTAL PARKING REQUIRED: 5-23 SPACES  
TOTAL PARKING SPACES PROVIDED: = 22 SPACES

PARKING DEFICIENCY: 0 PARKING  
BARRIER-FREE PARKING SPACES PROVIDED: 1 SPACE (VAN ACCESSIBLE)  
DUMPSTER ENCLOSURE: PROVIDED  
LANDSCAPING: YES  
PRIVACY SCREENING: YES (FRONT & SIDE)  
LOADING/UNLOADING: PROVIDED  
LIGHTING: PROVIDED

HANDICAP SPACES REQUIRED: 1-25 1 HANDICAP PARKING SPACES PROVIDED

AS INDICATED  
90 DEGREE  
PARKING LAYOUT

ZONING INFORMATION	
REQUIRED	PROPOSED
ZONING: B-4 SETBACKS: PER SECTION 6.13.1 FRONT: 100 FT SIDES: 10% (LOT WIDTH) REAR: 10% (LOT DEPTH) LANDSCAPING: ARTICLE VII SEC. 7.5.4 FRONT: 10 FT WIDE BUFFER ZONE W/SCREENING W/CANOPY OR EVERGREEN TREE AT 24 LF C/C SIDES: 10 FT LANDSCAPE BUFFER W/CONTINUOUS LANDSCAPE SCREENING W/6" CONC. CURB. TRASH ENCLOSURE & LOADING AREA: ARTICLE VII PER SEC. 7.5.5 TRASH ENCLOSURE & LOADING/UNLOADING AREA SHALL BE PROVIDED. BUILDING HEIGHT: MAXIMUM BUILDING HEIGHT REQ'D: 40 FT. 3 STORIES LOT WIDTH: MINIMUM LOT WIDTH: 150 FT PARKING PAVEMENT: ASPHALT (BITUMINOUS) OR CONCRETE LOT COVERAGE N/A LOT DRAINAGE SITE SHALL BE DRAINED AS PER TWP. ENGINEERS IMPERVIOUS COVERAGE 50% MAX EXTERIOR LIGHTING: TO BE IN COMPLIANCE WITH STANDARDS OF TWP. OF ACME, ARTICLE VII SEC. 7.8.3 SINAGE: TO COMPLY WITH ARTICLE VII SEC. 7.4 OF TWP. ORDINANCE	ZONING: NO CHANGES IN ZONING FRONT:125 FT SIDES: (WEST) 25'/159.5' (EAST) 159'.5'/245.98' REAR:272.5'/483.13' FRONT: 30 FT WIDE BUFFER ZONE W/EVERGREEN TREES AT 10 FT HIGH & 36" SHRUBS AT TIME OF GROW W/MULCH SURFACE & 6" RAISED CONCRETE CURB SIDES: 10 FT LANDSCAPING W/EVERGREEN TREE CONTINUOUS W/6" CONC. CURB TRASH ENCLOSURE & LOADING AREA: 12 FT X 11 FT TRASH ENCLOSURE & 12 FT X 55 FT LOADING/UNLOADING AREA IS PROPOSED ON SITE BUILDING HEIGHT: PROPOSED BUILDING HEIGHT: 15 FT. W/ W/3 FT OF PARAPET WALL LOT WIDTH: LOT WIDTH: 245.98 FT PARKING PAVEMENT: ASPHALT (BITUMINOUS) PROPOSED LOT COVERAGE BUILDING COVERAGE: 4,815 SQFT SITE AREA: 115514.50 SQFT 4,815/115514.50= 4.15% PROPOSED LOT DRAINAGE 2 CATCH BASINS PPROPOSED IMPERVIOUS COVERAGE 24.78% MAX PROPOSED LIGHTING: PARKING LIGHT POLES AND SURFACE MOUNTED LIGHTS ON BUILDING PROPOSED *PHOTOMETRIC PLAN IS PROVIDED

**DESCRIPTION**  
DESCRIPTION AS FURNISHED - WARRANTY DEED RECORDED IN 2018R-122337, PG#1

PARCEL 2  
PART OF THE SOUTHWEST 1/4 OF SECTION 32, T28N-R9W, ACME TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 32; THENCE N00°55'01"W 583.51 FEET ALONG THE WEST LINE OF SAID SECTION 32; THENCE N89°10'55"E 375.22 FEET TO A POINT OF BEGINNING; THENCE CONTINUING N89°10'55"E 193.60 FEET; THENCE S00°49'05"E 516.07 FEET; THENCE S89°41'17"W 245.98 FEET ALONG THE NORTHERLY LINE OF M - 72 (150 FEET WIDE); THENCE N00°54'58"W 406.55 FEET; THENCE N60°43'48"E 60.35 FEET; THENCE N00°49'05"W 78.60 FEET TO THE POINT OF BEGINNING. SUBJECT TO ALL EASEMENTS, RESERVATIONS, RIGHT-OF-WAY AND RESTRICTIONS OF RECORD.

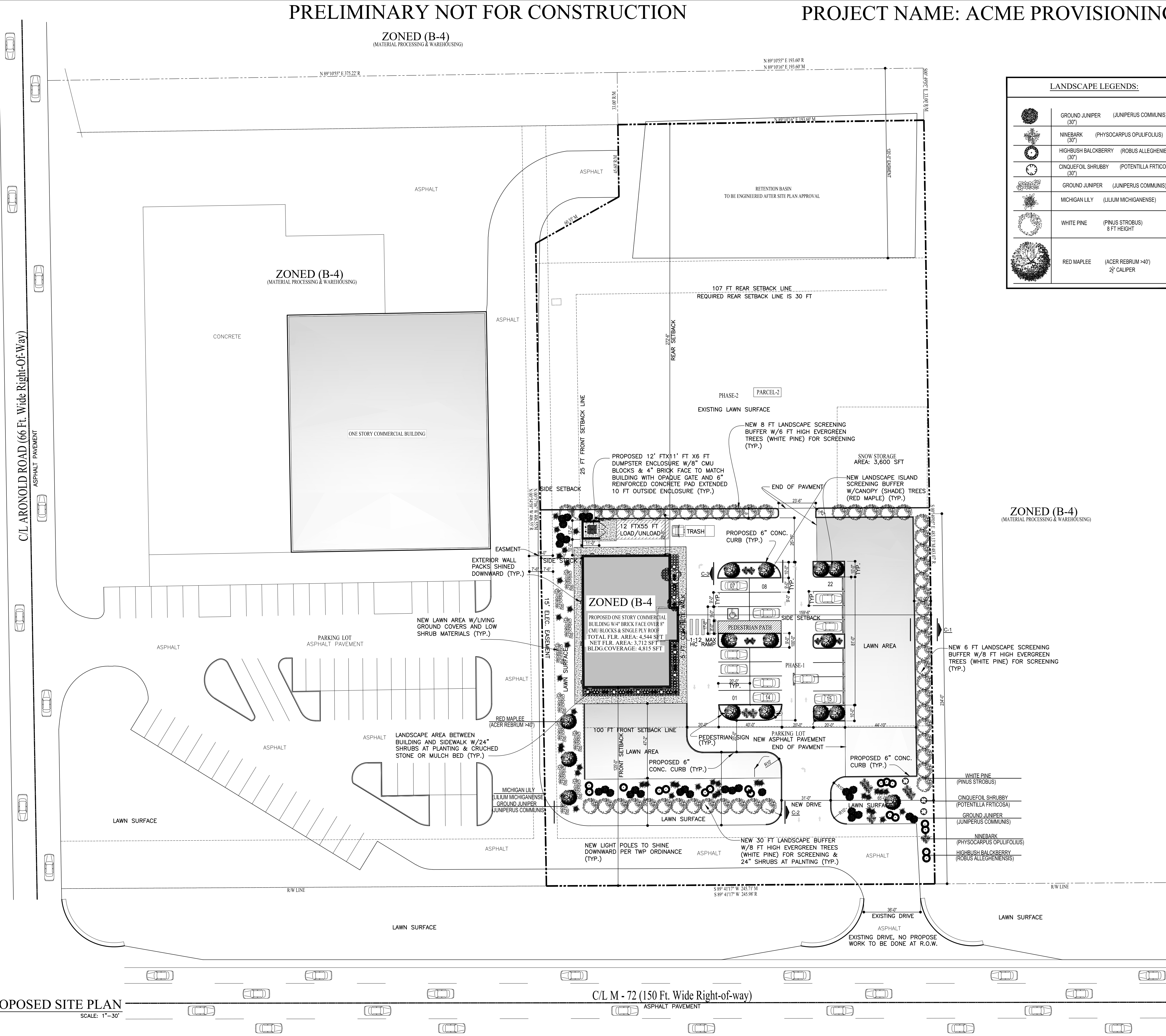
SUBJECT TO AN ACCESS EASEMENT AND UTILITY EASEMENT RECORDED IN 2014R-12984, PG#10

SUBJECT TO A CHERRYLAND ELECTRIC CORP. EASEMENT RECORDED IN 2014R-12983, PG#13

SUBJECT TO A TRACTOR SUPPLY COMPANY VARIABLE WIDTH EASEMENT FOR STORM WATER HOLDING AREA RECORDED IN 2014R-12984, PG #14



PROPOSED SITE PLAN  
SCALE: 1"=30'



LANDSCAPE LEGENDS:		
	GROUND JUNIPER (JUNIPERUS COMMUNIS)	(30")
	NINEBARK (PHYSOCARPUS OPULIFOLIUS)	(30")
	HIGHBUSH BALCKBERRY (ROBUS ALLEGHENIENSIS)	(30")
	CINQUEFOIL SHRUBBY (POTENTILLA FRITICOSA)	(30")
	GROUND JUNIPER (JUNIPERUS COMMUNIS)	(30")
	MICHIGAN LILY (LILIUM MICHIGANENSE)	
	WHITE PINE (PINUS STROBUS)	8 FT HEIGHT
	RED MAPLEE (ACER REBRUM >40")	2 1/2" CALIPER

**NGLE**  
Design & Construction, Inc.

Civil Engineers - Construction Managers  
6200 Schaefer Road, Suite 102, Dearborn, Michigan 48126  
Phone: (313) 220-5439 Email: mhaehem27@gmail.com

MEDICAL MARIHUANA PROVISIONING FACILITY  
7053 EAST M72  
WILLIAMSBURG, MI 49690

Proj. No. 110718  
Scale: 1" = 30'  
Date: 11/07/2018

DRAWN BY: MH  
Approved By:  
Drawing No. : SP-1

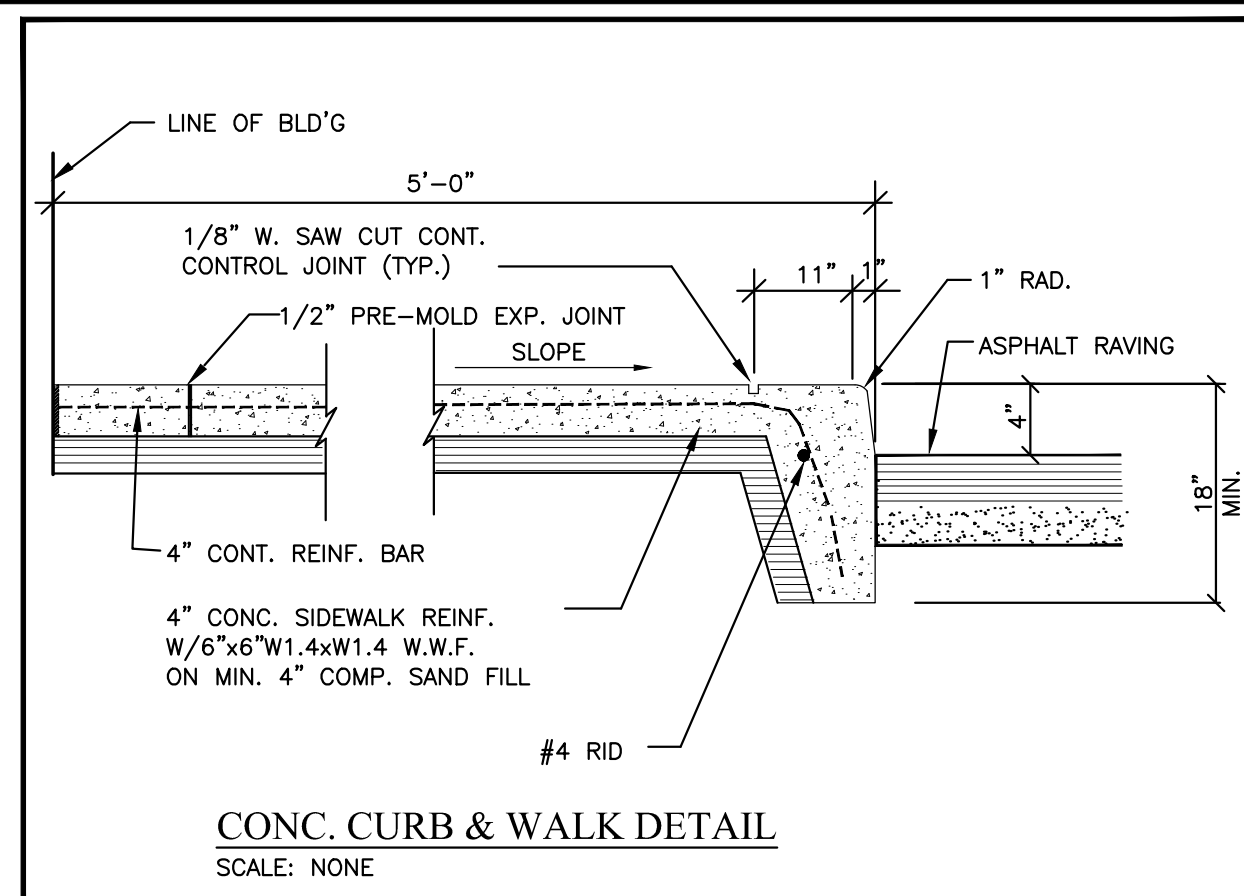
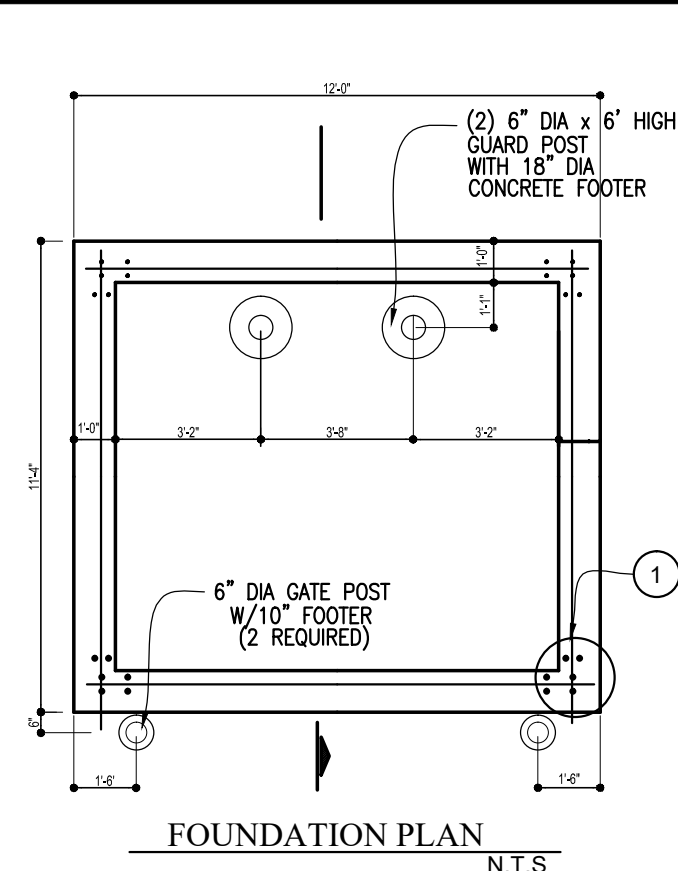
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





ENGINEER SEAL

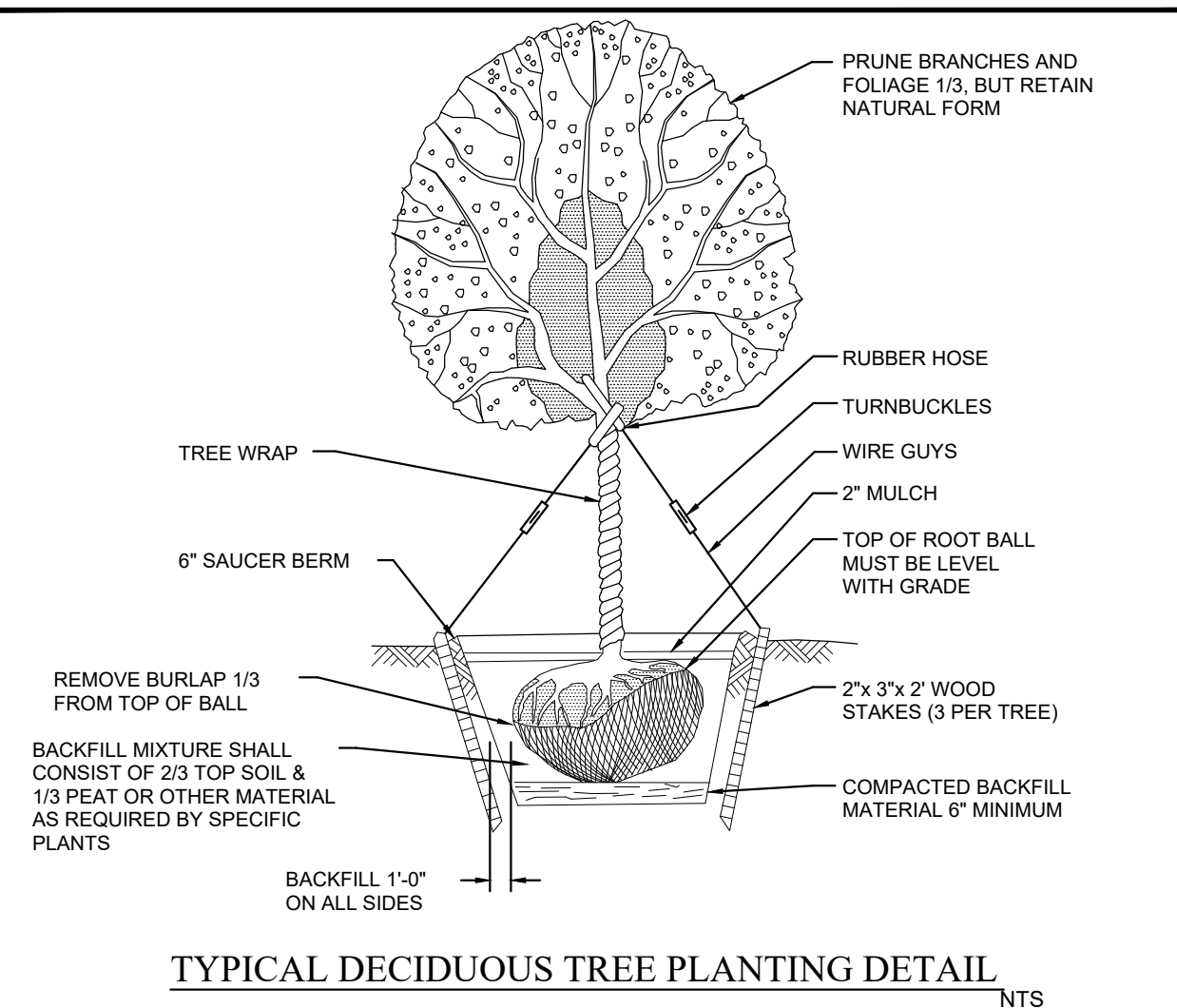
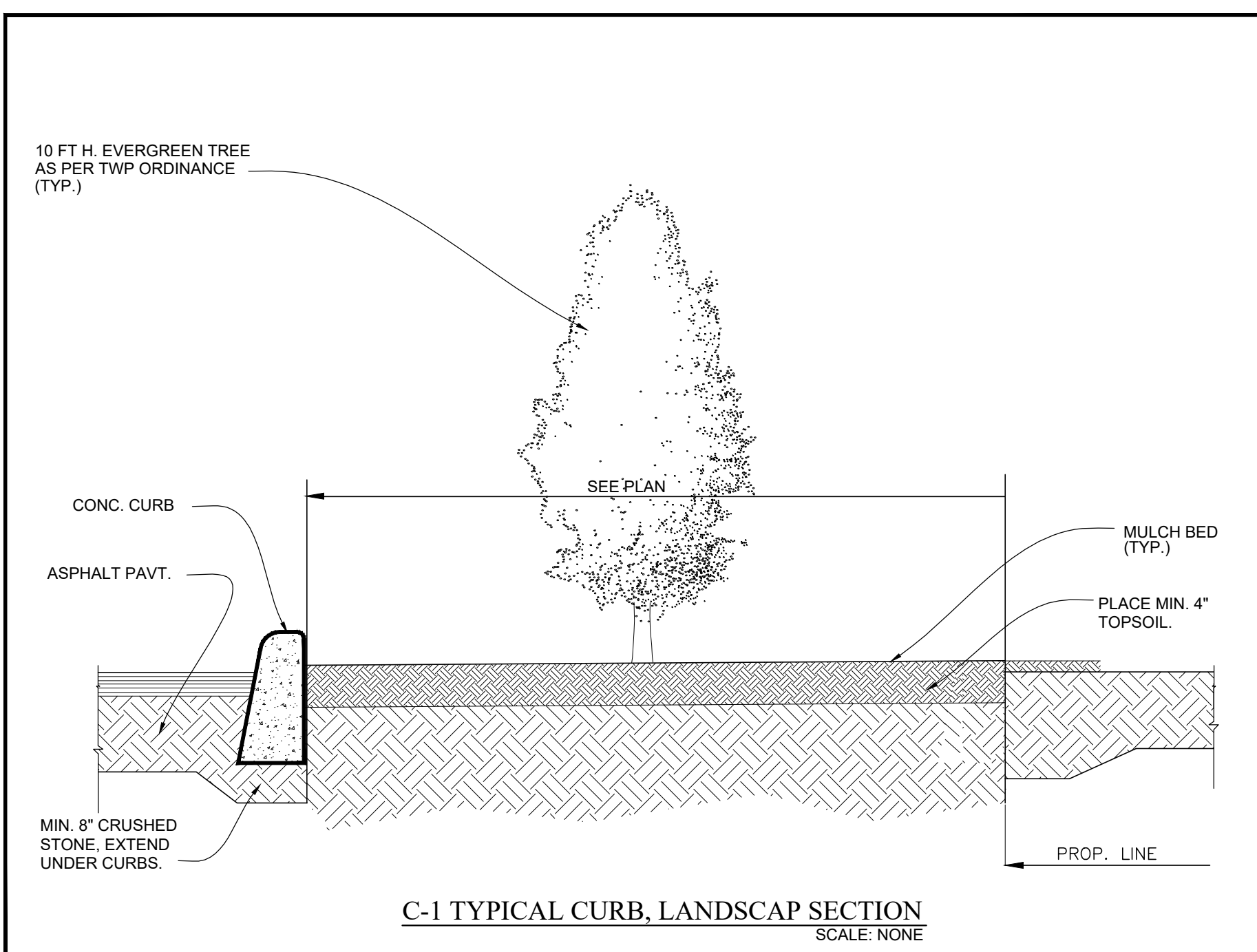
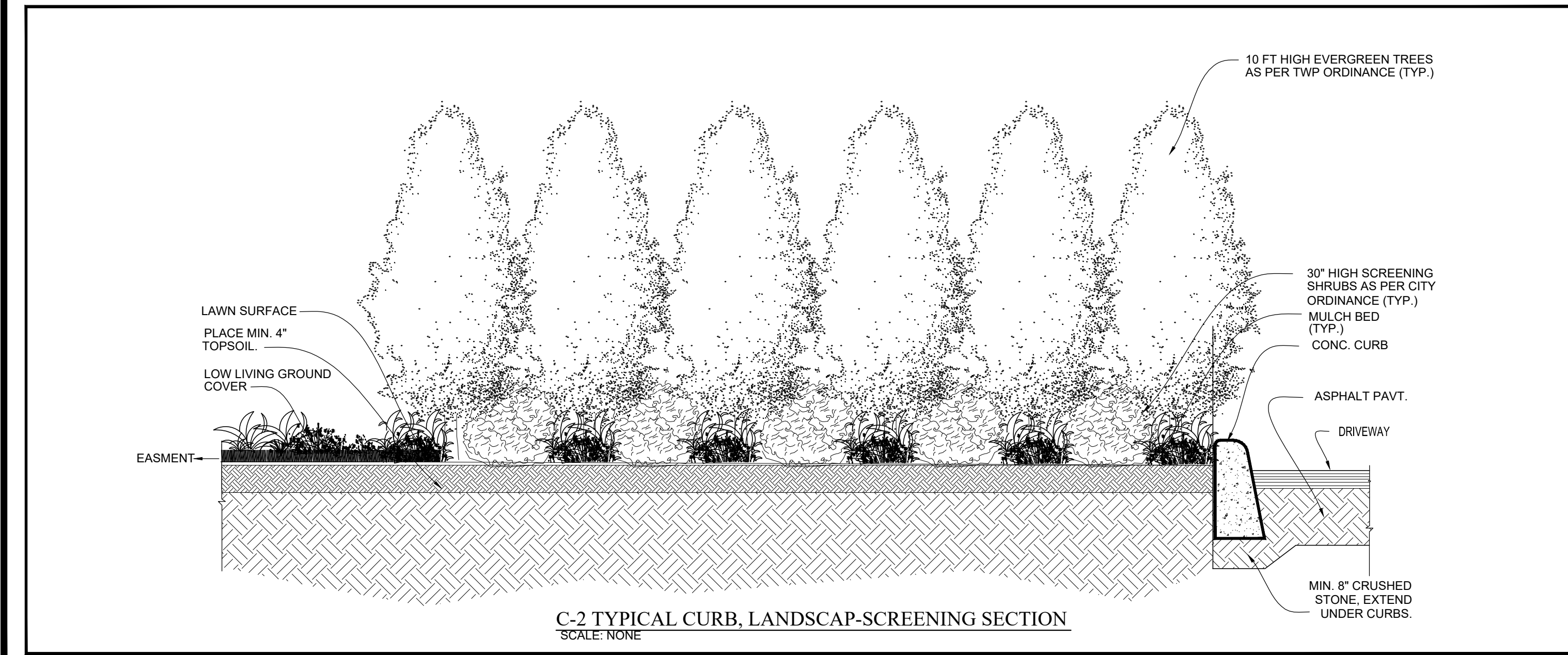
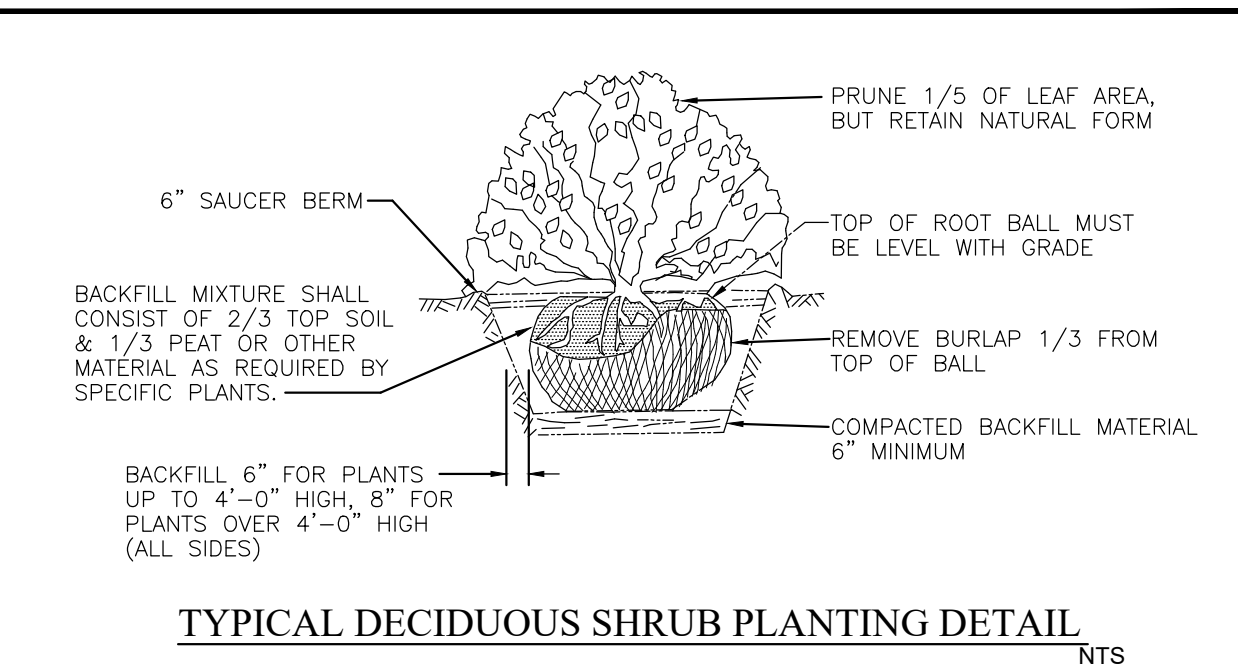
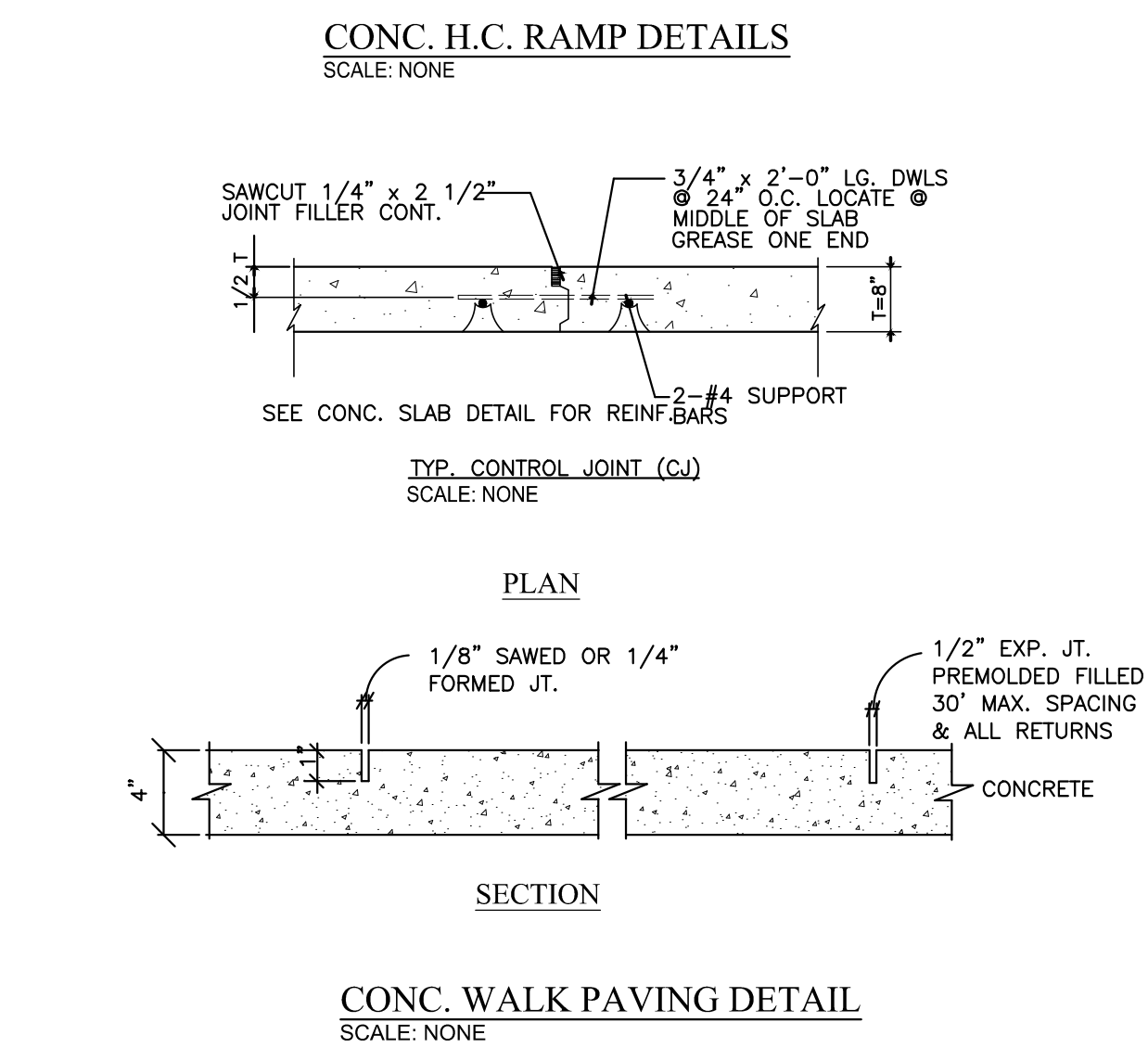
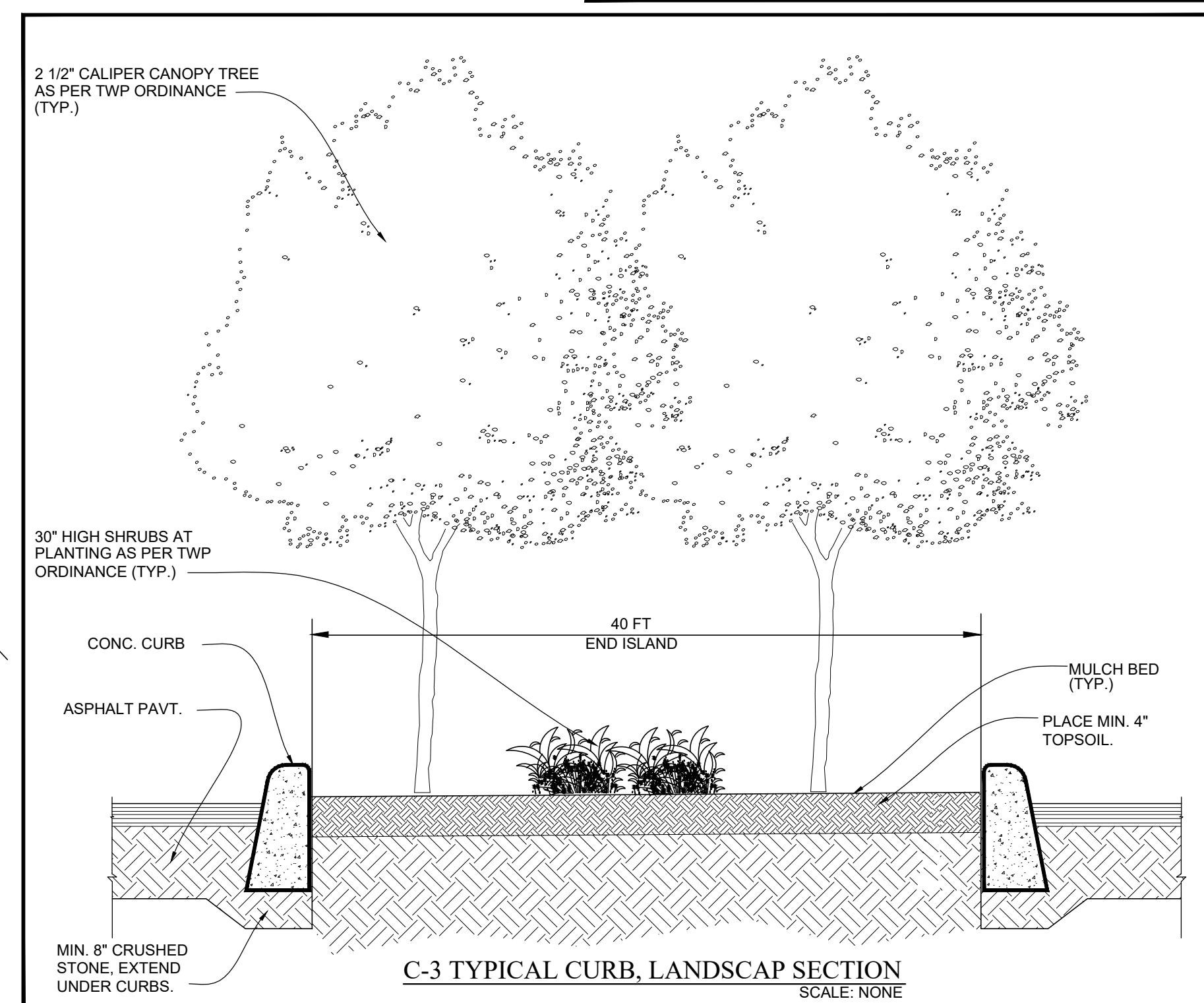
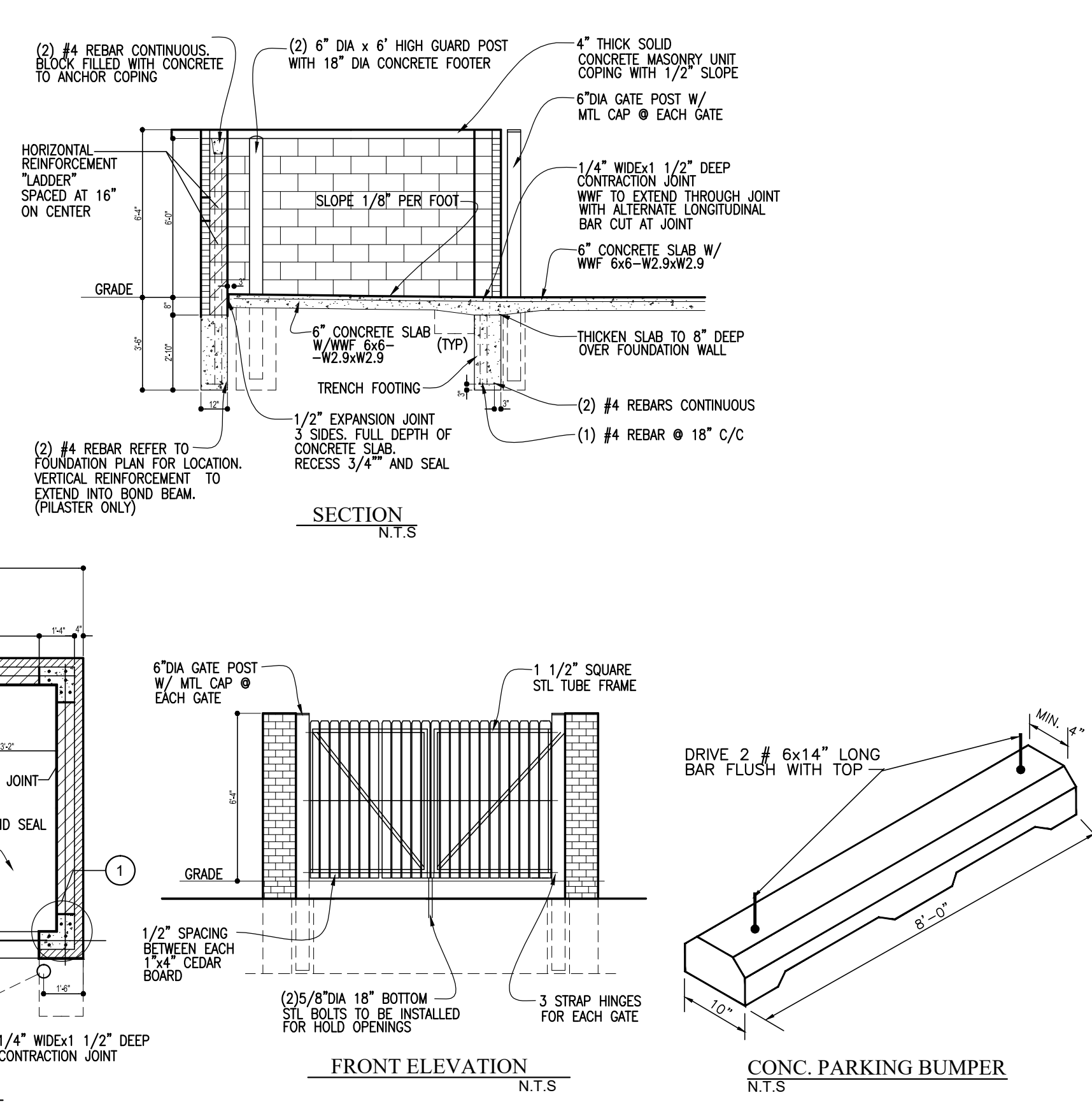
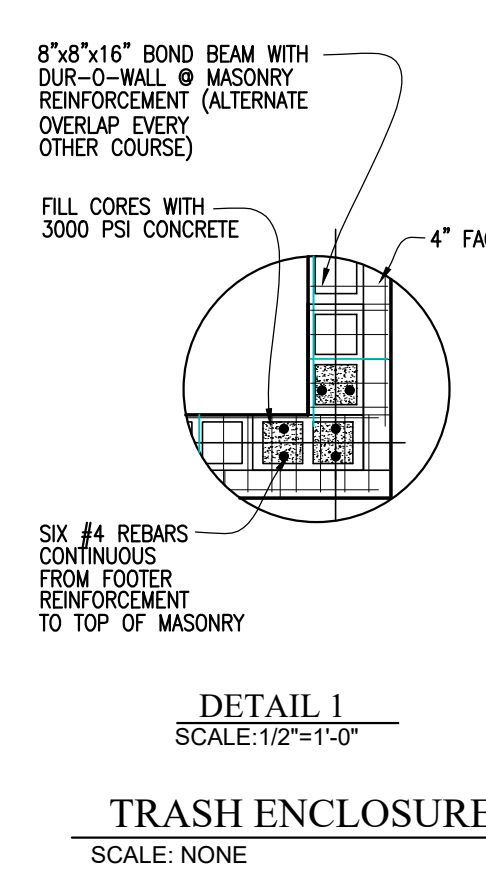
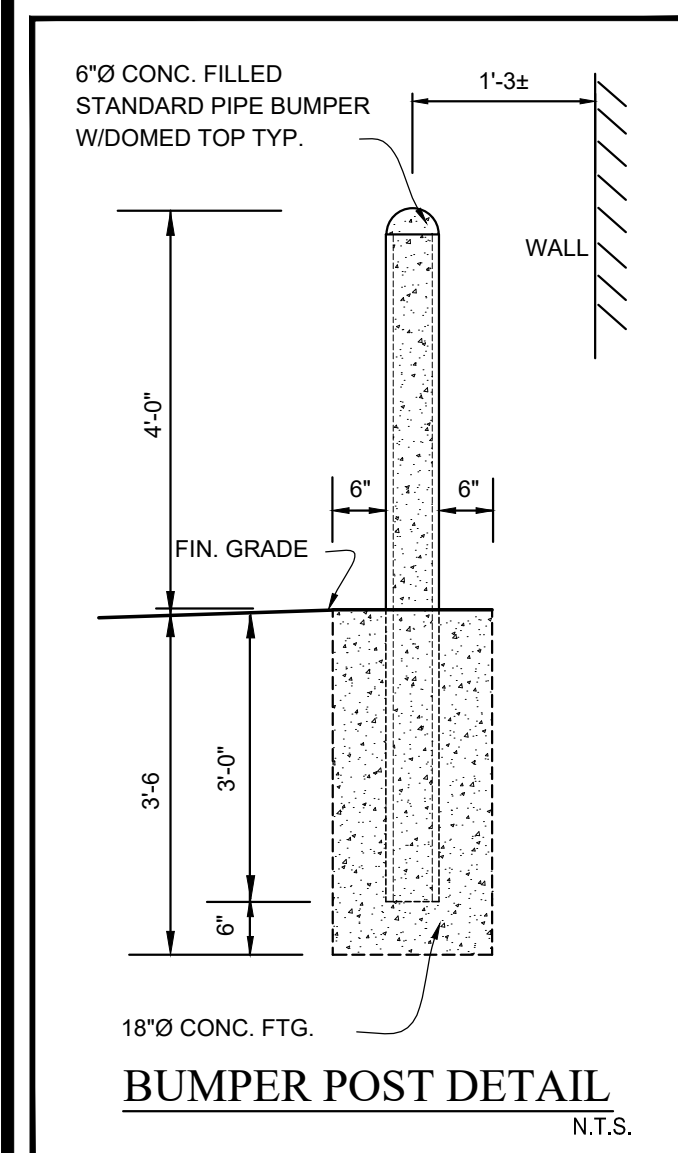
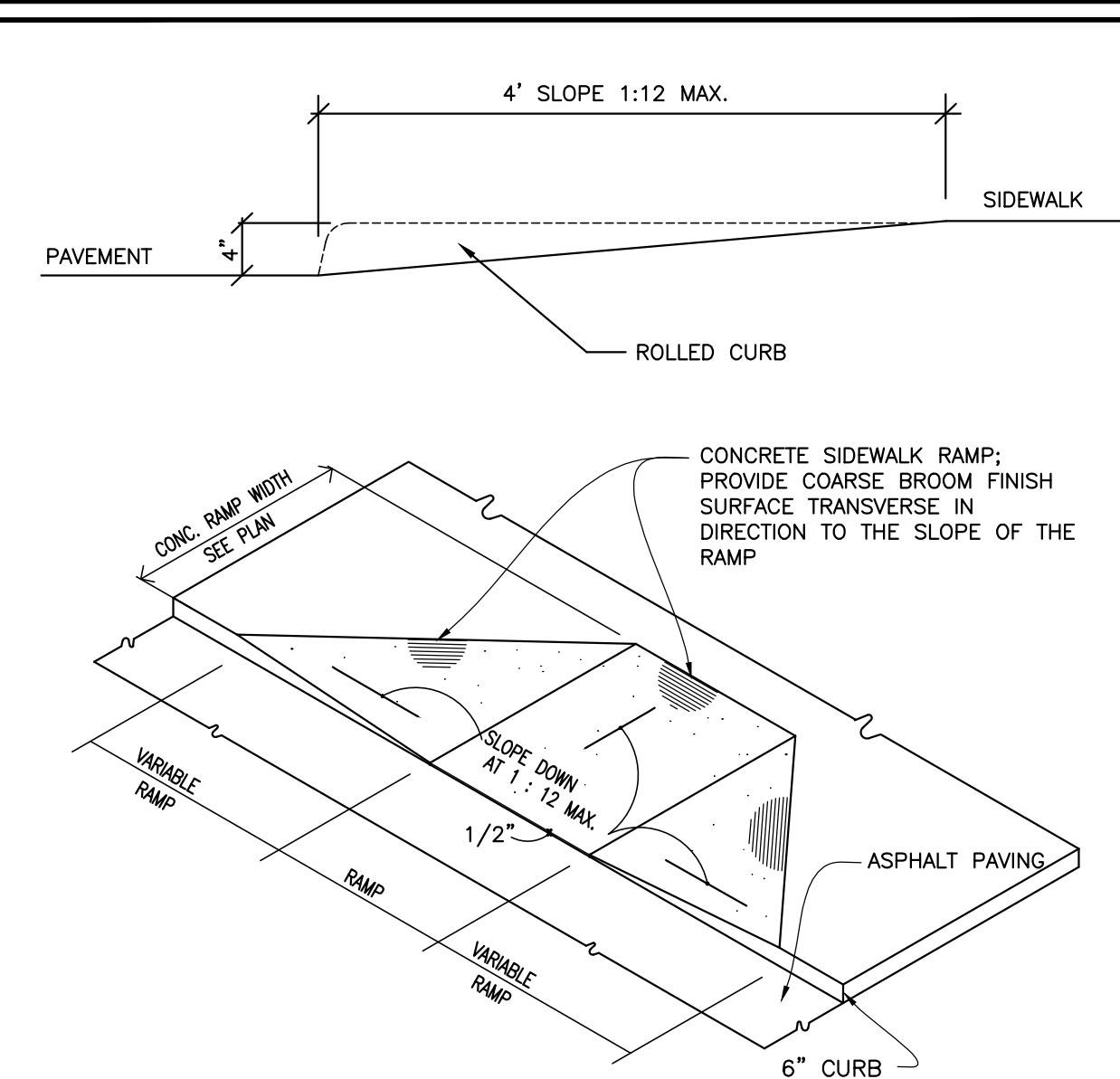
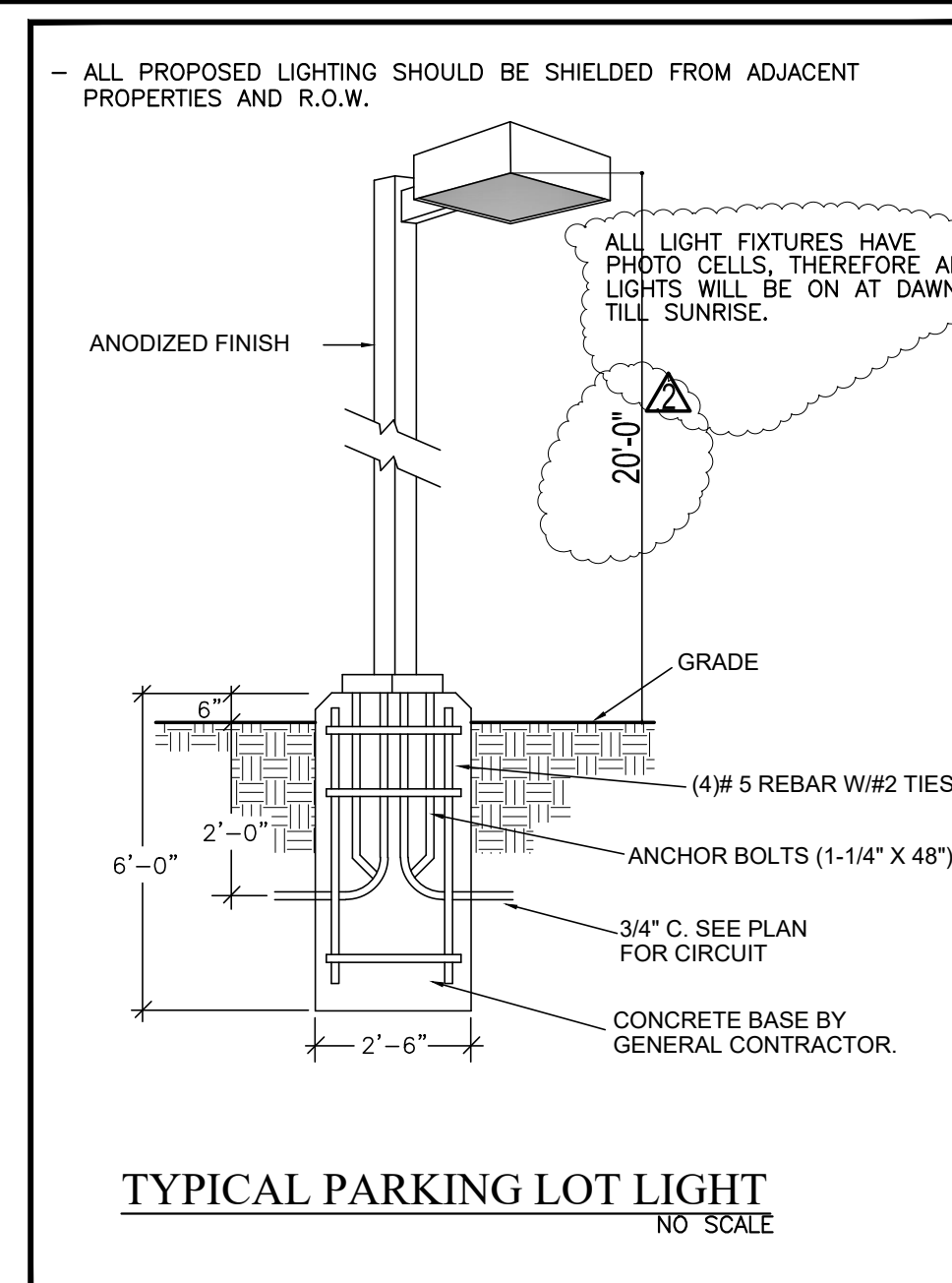
MOHAMMAD FAZ SIDDIQUE  
ENGINEERING  
2018

REVISIONS		BY	APPD
SYM	DATE	DESCRIPTION	
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	06/24/2019	REVISED	
	07/02/2019	REVISED	

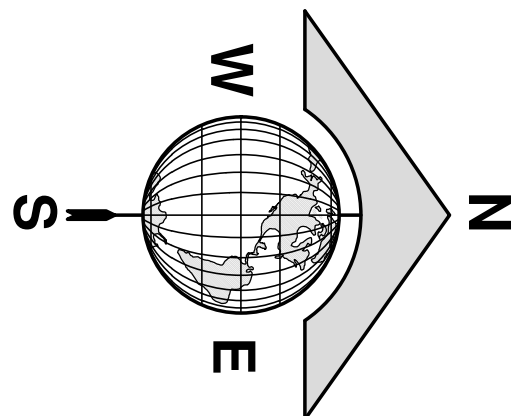
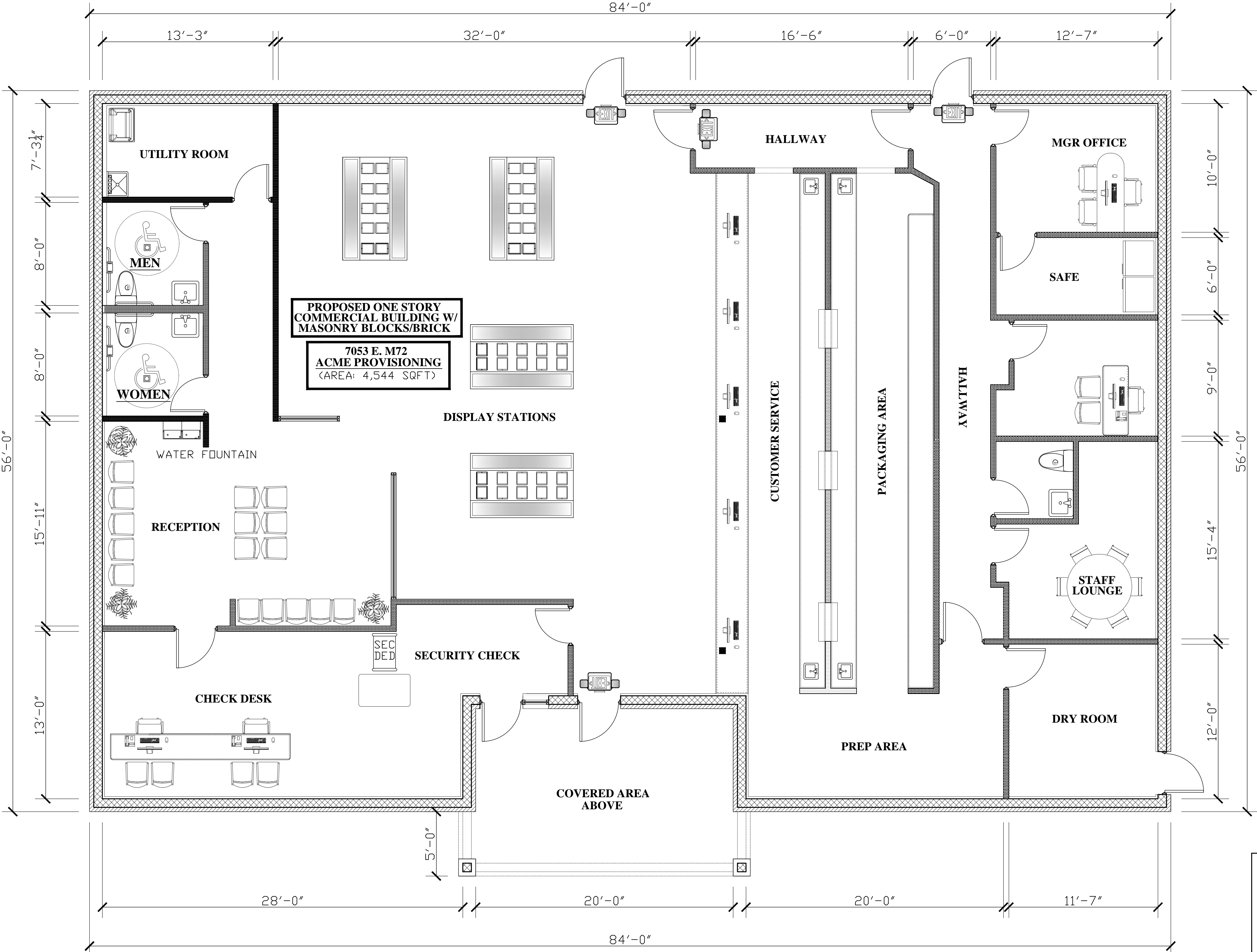




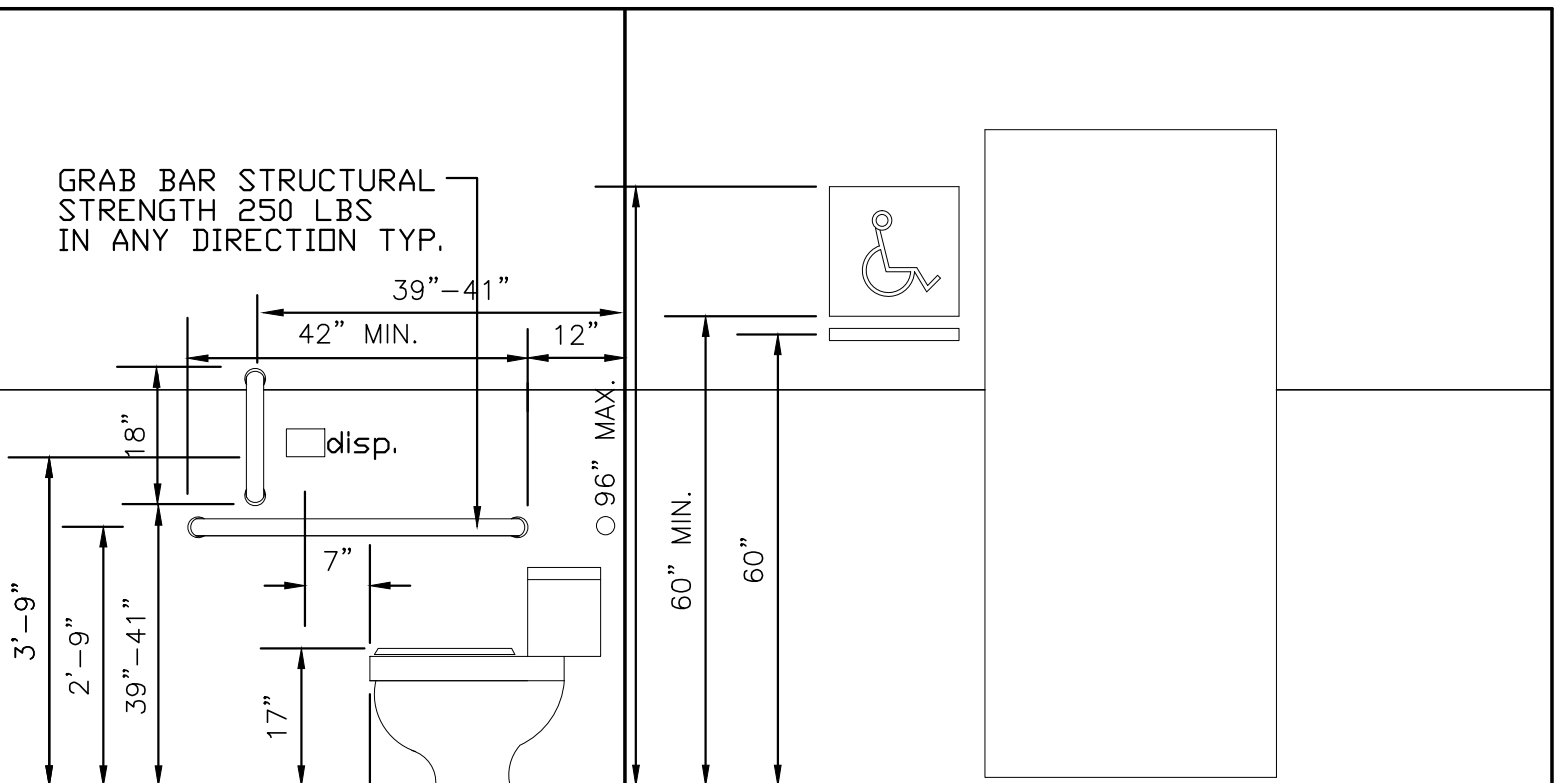
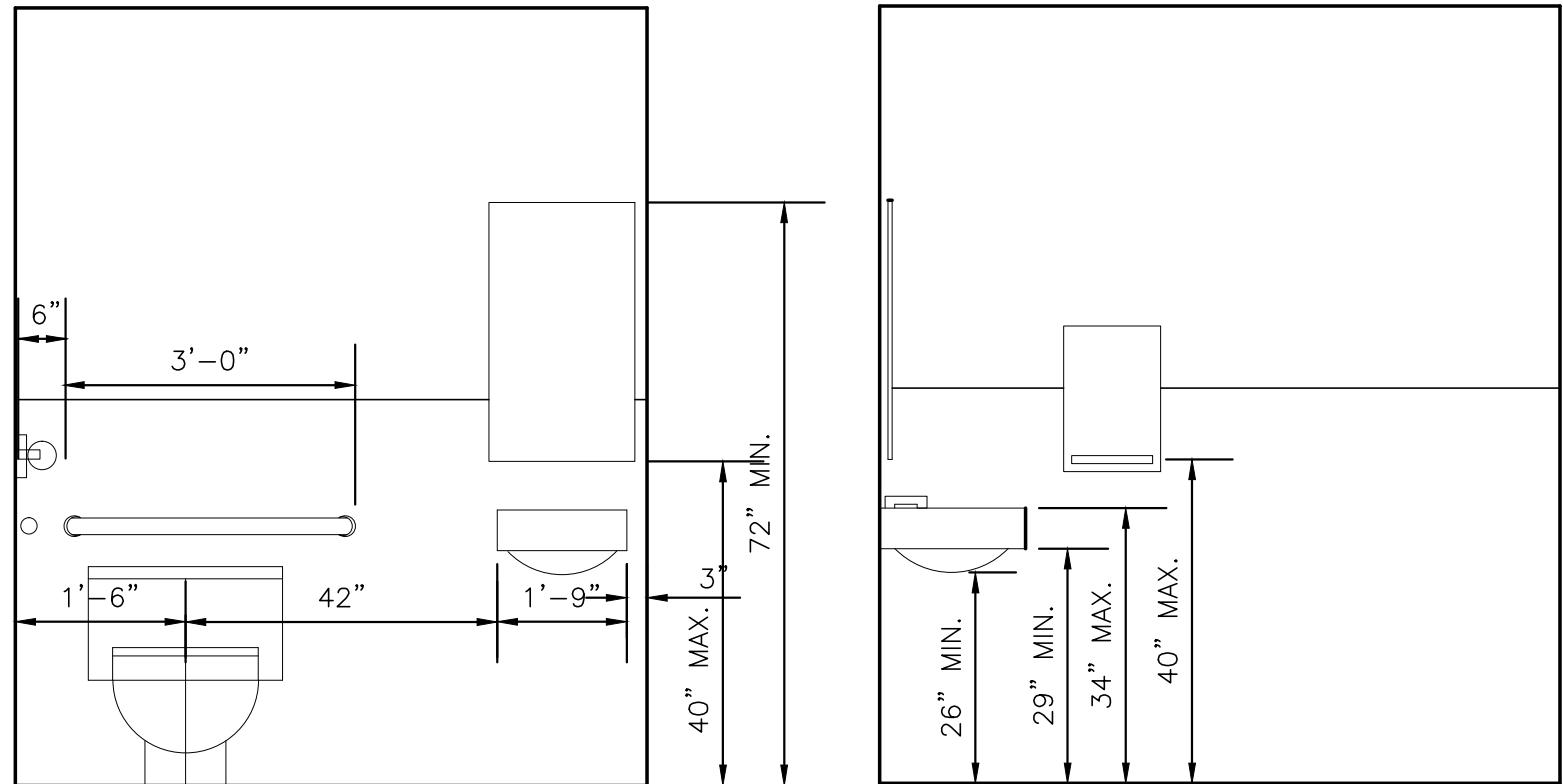
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**PROPOSED FLOOR PLAN**  
SCALE: 1/4"=1'-0"

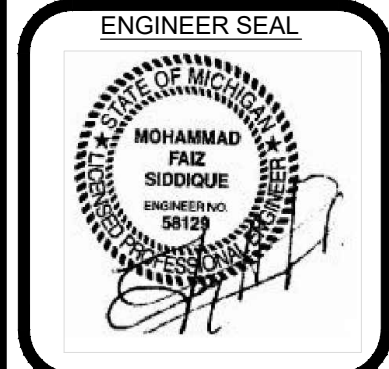


**BARRIER FREE TOILET DETAILS**  
NO SCALE

PROPOSED MEDICAL MARIHUANA PROVISIONING  
7053 EAST M72  
WILLIAMSBURG, MICHIGAN 49690

Proj. No. 110718	Scale: As Noted	Drawn By: MH	Approved By:
Date: 11/07/2018	Drawing No.:	A-1	

**PROPOSED FLOOR PLAN**

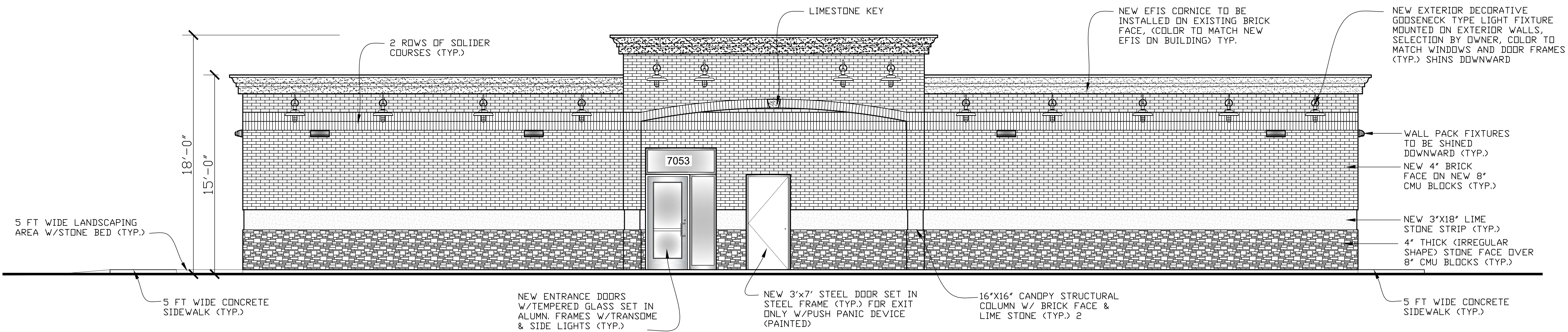


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**ANGLE**  
Design & Construction, llc.

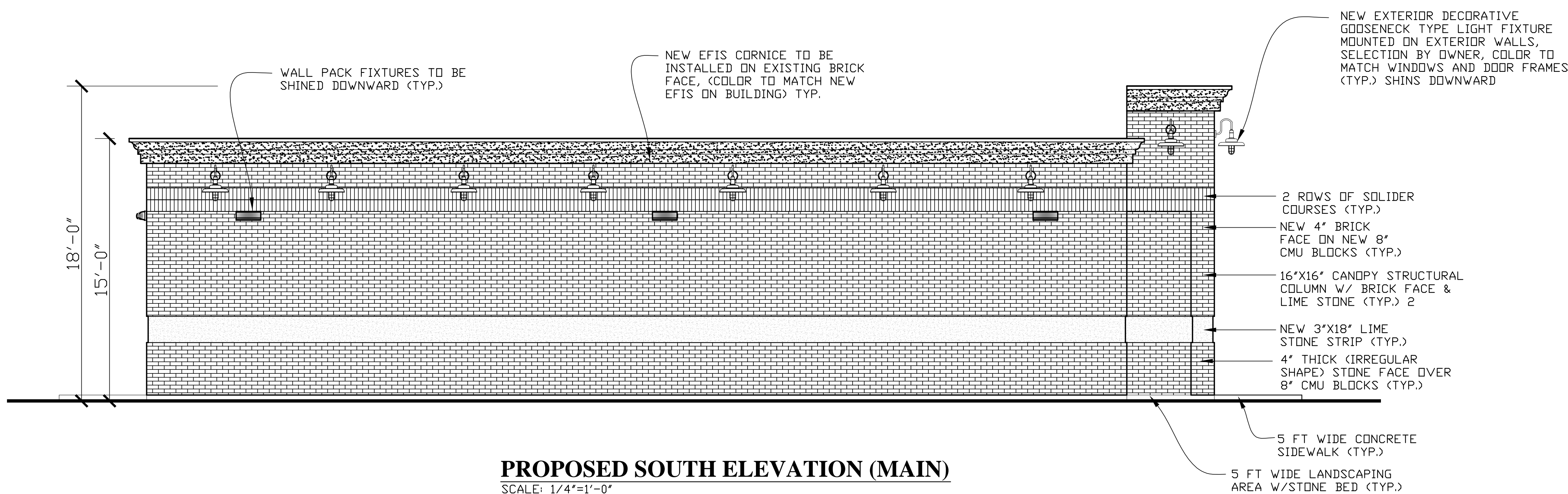
Civil Engineers • Construction Managers  
6200 Schaefer Rd. • Suite 100 • Dearborn • Michigan • 48126  
Phone: (313) 220-5439 • Email: nhachem27@gmail.com





PROPOSED EAST ELEVATION (MAIN)

SCALE: 1/4"=1'-0"



PROPOSED SOUTH ELEVATION (MAIN)

SCALE: 1/4"=1'-0"

PROPOSED MEDICAL MARIHUANA PROVISIONING

7053 EAST M72

WILLIAMSBURG, MICHIGAN 49690

Proj. No. 110718

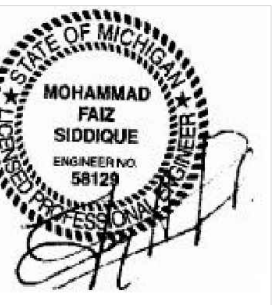
Date: 11/07/2018

Scale: As Noted

Approved By: Drawing No.: A-2

PROPOSED BUILDING ELEVATIONS

ENGINEER SEAL



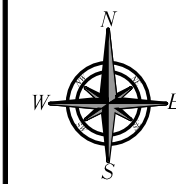
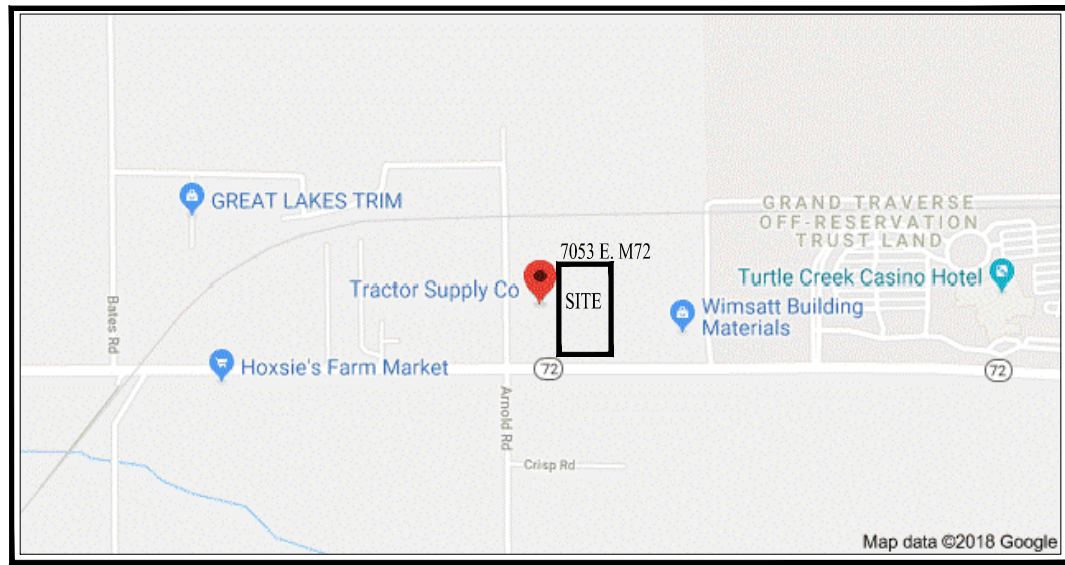
REVISIONS			BY	APPD
SYM	DATE	DESCRIPTION		
	11/07/2018	NO REVISION		

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Phone: (313) 220-5439 . Email: mhachem27@gmail.com

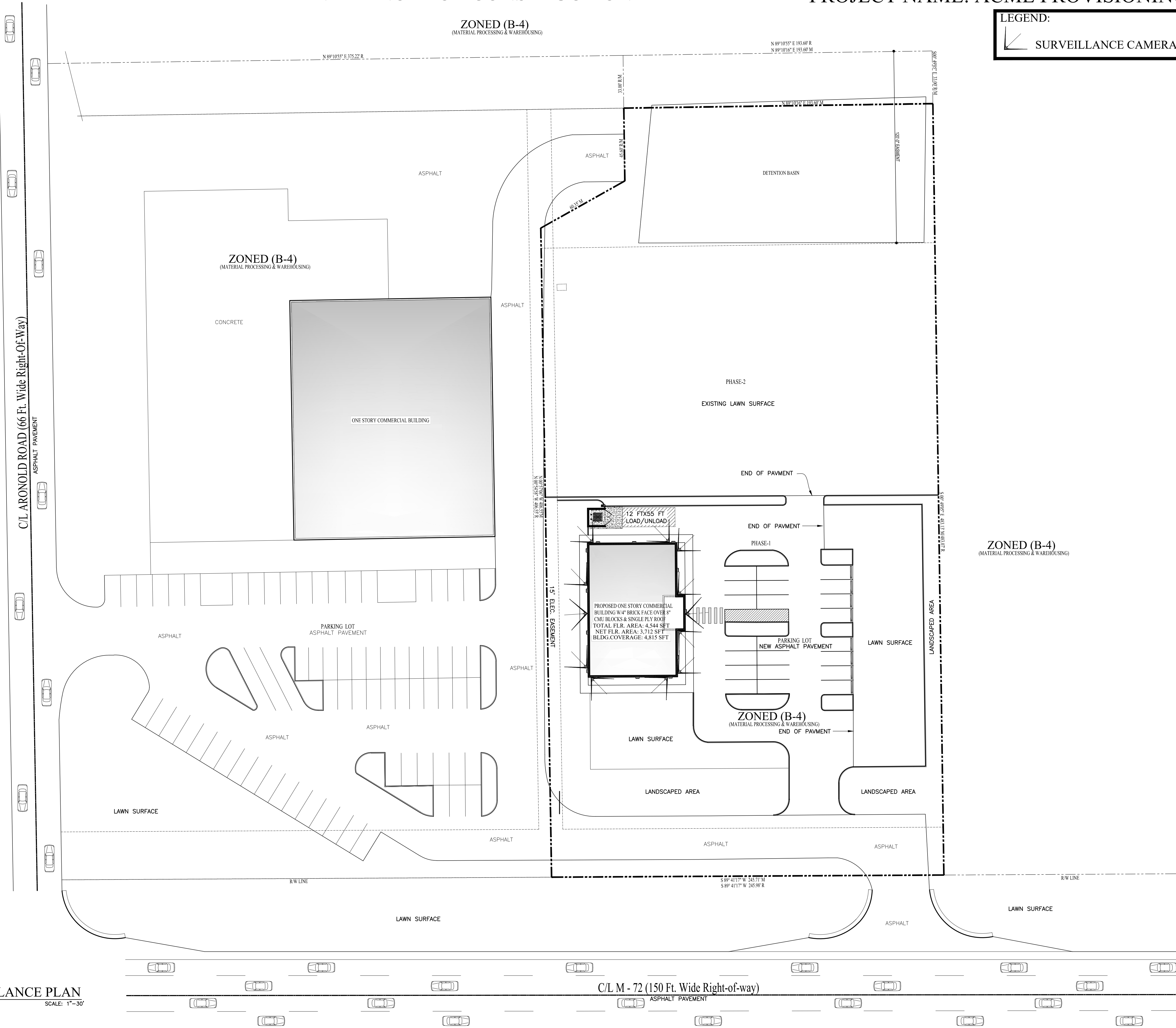




PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NAME: ACME PROVISIONING

LEGEND:



PROPOSED SURVEILLANCE PLAN

SCALE: 1" = 30'



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Phone: (313) 220-5439 Email: mhachem2@gmail.com

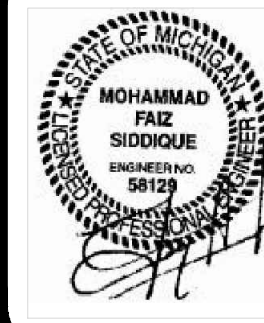
MEDICAL MARIHUANA PROVISIONING FACILITY

7053 EAST M72  
WILLIAMSBURG, MI 49690

Proj. No. 110718	Scale: 1" = 30'	DRAWN BY: MH	MH
Date: 11/07/2018		Approved By:	
		Drawing No. :	SUR-1

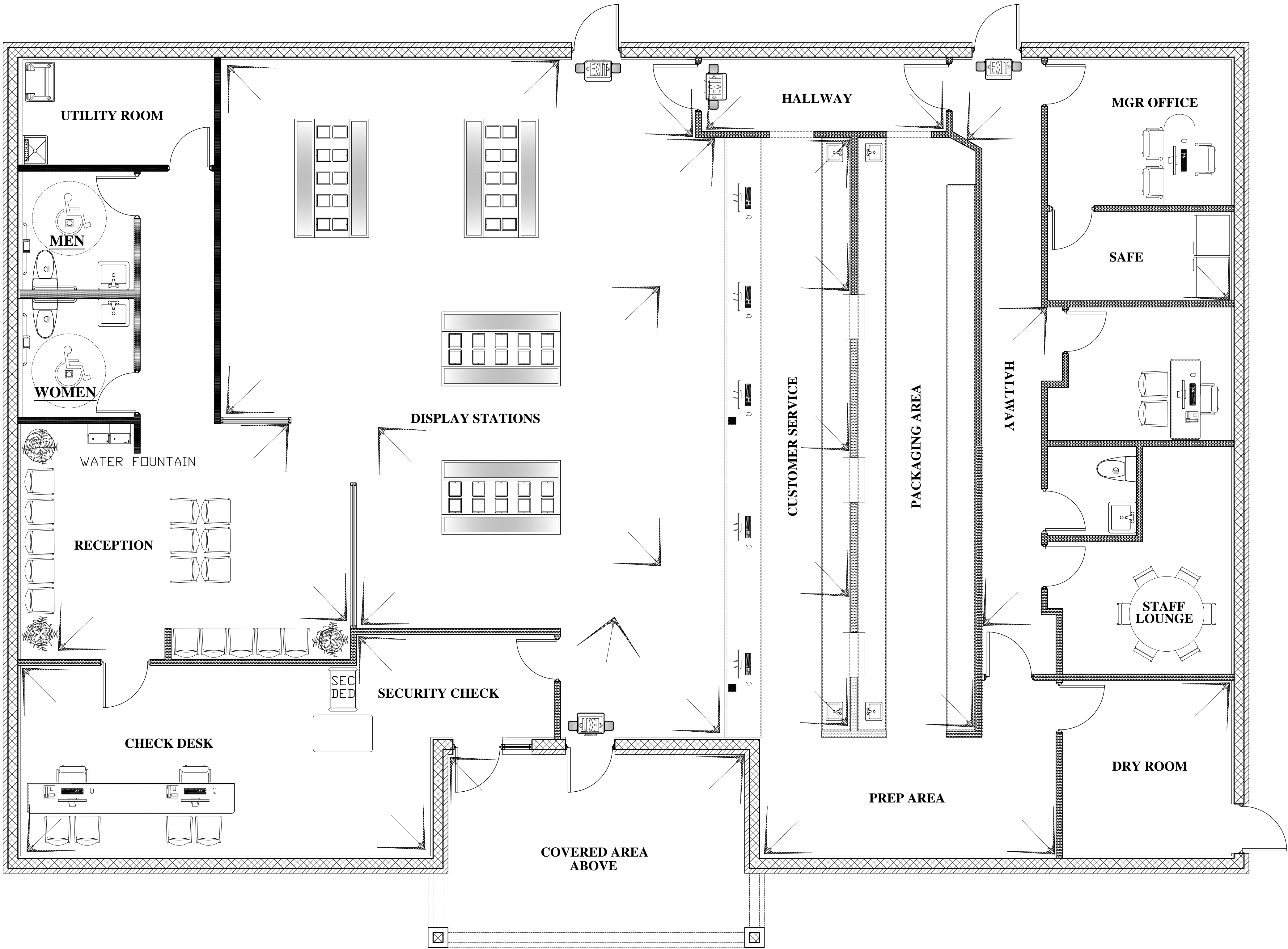
PROPOSED SITE  
SURVEILLANCE PLAN

ENGINEER SEAL



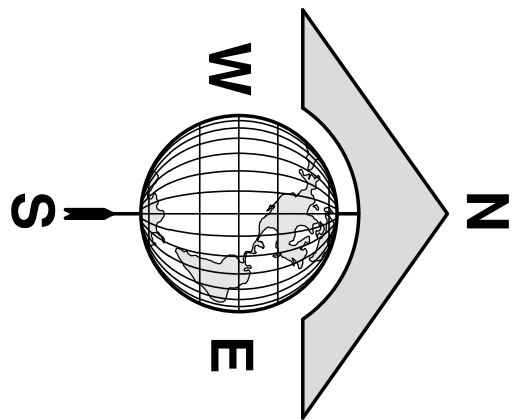
SYMBOL	DATE	DESCRIPTION	BY	APPD
	11/07/2018	NO REVISION		
	07/02/2018	REVISED		





**LEGEND:**

 SURVEILLANCE CAMERA



**PROPOSED SURVEILLANCE PLAN**  
SCALE: 1/4"=1'-0"

PROPOSED MEDICAL MARIHUANA PROVISIONING  
7053 EAST M72  
WILLIAMSBURG, MICHIGAN 49690  
Proj. No. 110718  
Date: 11/07/2018  
Scale: As Noted  
Drawn By: MH  
Approved By:  
Drawing No.: SUR-2

**SURVEILLANCE PLAN**



REVISIONS			
SYM	DATE	DESCRIPTION	BY
	11/07/2018	NO REVISION	

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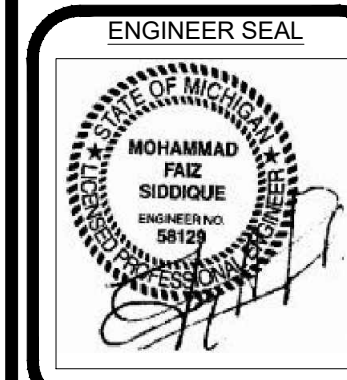


## C/I. ARONOLD ROAD (66 Ft. Wide Right-Of-Way)

C/L M - 72 (150 Ft. Wide Right-of-way)



REVISIONS				
SYM	DATE	DESCRIPTION	BY	APPD
	11/07/2018	NO REVISION		
	07/02/2019	REVISION	VAW	VAW



## PHOTOMETRICS SITE PLAN

# MEDICAL MARIHUANA PROVISIONING FACILITY

Proj. No. 110718	Scale: 1" = 30'	DRAWN BY: Approved By:	VAW VAW
Date: 11/07/2018	Drawing No. :	E-1	



**INTELL**  
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MEDICAL MARIHUANA PROVISIONING FACILITY  
7053 EAST M72  
WILLIAMSBURG, MI 49690

Pro. No. 110718  
Date: 11/07/2018

DRAWN BY: VAW  
Approved By: VAW

E-2

PHOTOMETRICS DETAIL 1

ENGINEER SEAL

MOHAMMAD FAIZ SIDDIQUE  
PROFESSIONAL ENGINEER  
58129

REVISIONS			BY	APPD
SYM	DATE	DESCRIPTION		
	11/07/2018	NO REVISION	VAW	VAW
	07/02/2019	REVISION		

Schedule

Symbol	Label	Quantity	Manufacturer	Coloring	Mounting	Transmittance	Lumen	Number of Luminaires	Manufacturer	Luminaire Per Luminaire	Light Loss Factor	Wattage
	A	1	LED	Lighting	OLWX LED 20W 4000K 450 1000 500 15M 1800 180	LED	1	1	OLWX LED 20W 4000K 450 1000 500 15M 1800 180	1	1	21.77
	B	1	LED	Lighting	OLWX LED 20W 4000K 450 1000 500 15M 1800 180	LED	1	1	OLWX LED 20W 4000K 450 1000 500 15M 1800 180	1	1	138.15
	C	1	LED	Lighting	OLWX LED 20W 4000K 450 1000 500 15M 1800 180	LED	1	1	OLWX LED 20W 4000K 450 1000 500 15M 1800 180	1	1	99.22

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	0.7 fc	16.1 fc	0.0 fc	N/A	N/A

DESIGNER

DATE

4/16/2019

SCALE

Not to Scale

DRAWING NO.

SUMMARY

1 of 10

Luminaire Locations

Location							Aim			
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	538.85	235.76	12.00	12.00	0.00	0.00	538.85	235.76	0.00
2	A	567.69	235.91	12.00	12.00	0.00	0.00	567.69	235.91	0.00
3	A	581.70	242.85	12.00	12.00	0.00	0.00	581.70	242.85	0.00
4	A	586.55	277.19	12.00	12.00	90.00	0.00	586.55	277.19	0.00
5	A	581.49	312.71	12.00	12.00	0.00	0.00	581.49	312.71	0.00
6	A	569.98	320.23	12.00	12.00	0.00	0.00	569.98	320.23	0.00
7	A	542.88	320.14	12.00	12.00	0.00	0.00	542.88	320.14	0.00
8	A	525.01	312.79	12.00	12.00	0.00	0.00	525.01	312.79	0.00
9	A	525.29	277.78	12.00	12.00	0.00	0.00	525.29	277.78	0.00
10	A	525.48	242.87	12.00	12.00	0.00	0.00	525.48	242.87	0.00
2	B	667.28	170.66	20.00	20.00	84.04	28.48	678.07	171.79	0.00
9	C	637.47	220.41	20.00	20.00	70.39	0.00	637.47	220.41	0.00
10	C	634.74	220.59	20.00	20.00	308.59	0.00	634.74	220.59	0.00
12	C	636.43	313.47	20.00	20.00	90.51	0.00	636.43	313.47	0.00
13	C	634.74	313.43	20.00	20.00	270.63	0.00	634.74	313.43	0.00
15	C	534.43	343.57	20.00	20.00	116.02	61.63	567.70	327.32	0.00
17	C	654.43	266.47	20.00	20.00	90.51	0.00	654.43	266.47	0.00

DESIGNER

DATE

4/16/2019

SCALE

Not to Scale

DRAWING NO.

SUMMARY

2 of 10

CS

OLWX LED

Wall Pack

Customer Select

OLWX LED

Wall Pack

Specifications

Dimensions

DESIGNER

DATE

4/16/2019

SCALE

Not to Scale

DRAWING NO.

SUMMARY

3 of 10



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MEDICAL MARIHUANA PROVISIONING FACILITY  
7053 EAST M72  
WILLIAMSBURG, MI 49690

Proj. No. 110718  
Date: 11/07/2018

Scale: 1" = 30'  
Drawing No. : E-3

DRAWN BY: VAW  
APPROVED BY: VAW

PHOTOMETRICS DETAIL 2


ENGINEER SEAL

MOHAMMAD FAIZ SIDDIQUE

ENGINEERING

58129

REVISIONS			BY	APPD
SYM	DATE	DESCRIPTION		
	11/07/2018	NO REVISION	VAW	VAW
	07/02/2019	REVISION		



D-Series Size 1

100W 4000K LED Area Luminaire

Specifications

Watts: 100W

Beam Angle: 120°

Height: 100"

Mounting: Pole Mount

Optical Information

Beam Diameter (ft)		Illuminance (fc)		Footcandle (fc)	
10'	20'	10'	20'	10'	20'
10.0	4.0	1.0	0.25	1.0	0.25
15.0	2.7	0.44	0.11	0.44	0.11
20.0	2.0	0.25	0.06	0.25	0.06
25.0	1.6	0.16	0.04	0.16	0.04
30.0	1.3	0.11	0.03	0.11	0.03

Designer

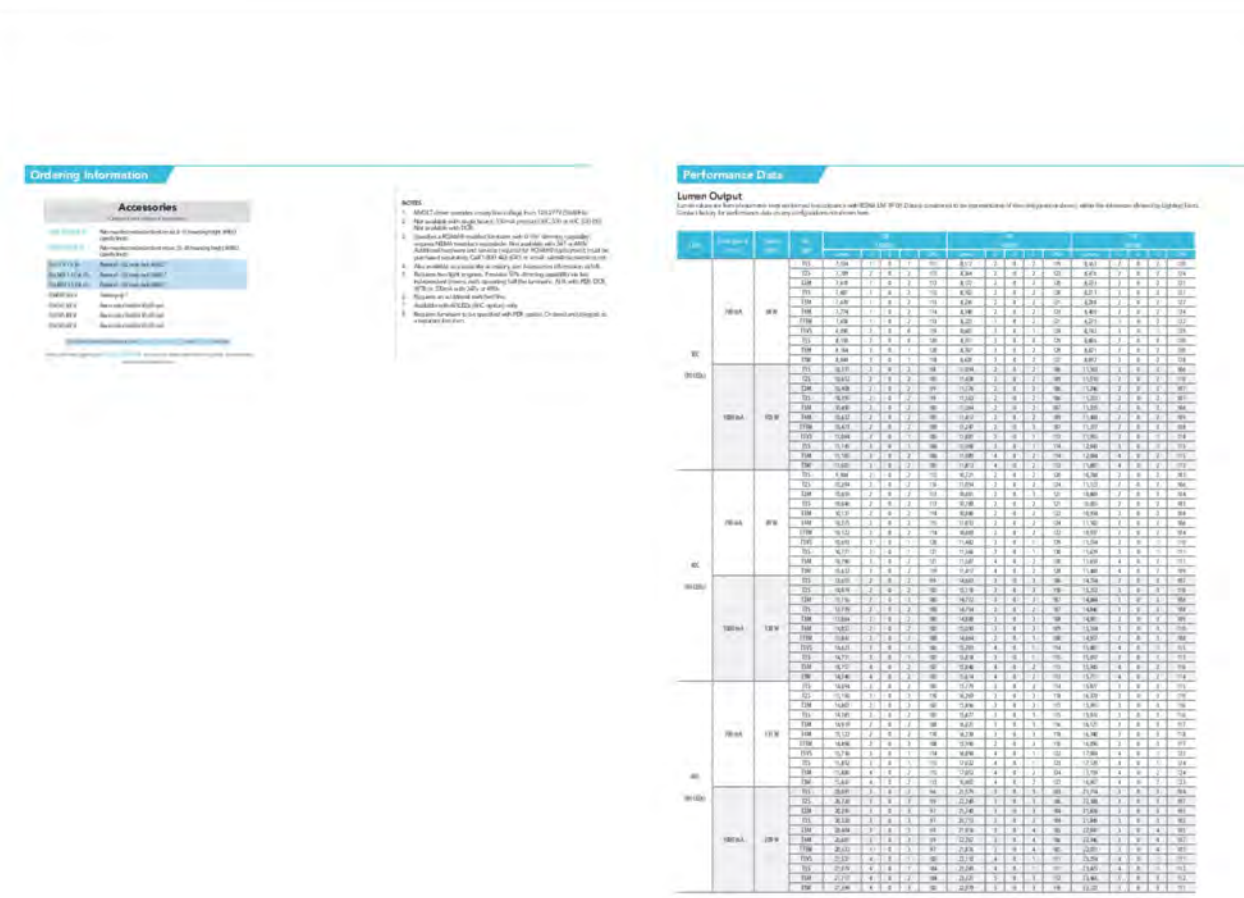
Date: 4/16/2019

Scale: Not to Scale

Drawing No.

Summary

4 of 10



Photometric Data

Table with 10 columns: X, Y, Z, I, E, U, V, W, A, B

Designer


Date: 4/16/2019

Scale: Not to Scale

Drawing No.

Summary

5 of 10



Photometric Diagrams

Diagrams showing beam spread and illuminance distribution

Designer

Date: 4/16/2019

Scale: Not to Scale

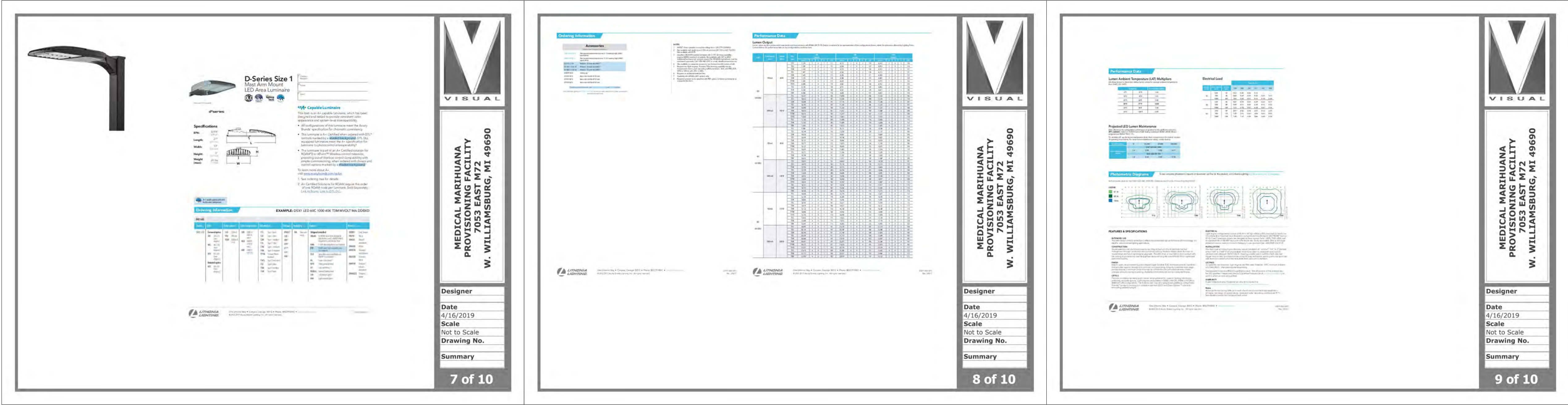
Drawing No.

Summary

6 of 10

PHOTOMETRICS DETAIL 2



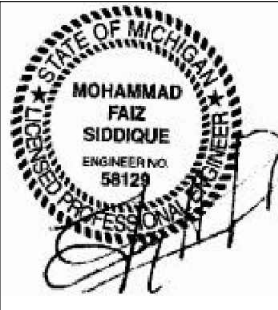


PHOTOMETRICS DETAIL 3

REVISIONS

SYM	DATE	DESCRIPTION	BY	APPD
	11/07/2018	NO REVISION	VAW	VAW
	07/02/2019	REVISION	VAW	VAW

ENGINEER SEAL



PHOTOMETRICS DETAIL 3

DESIGNER

DATE

SCALE

NOT TO SCALE

DRAWING NO.

SUMMARY

MEDICAL MARIHUANA PROVISIONING FACILITY  
7053 EAST M72  
WILLIAMSBURG, MI 49690

Proj. No. 110718  
Scale: 1" = 30'  
Date: 11/07/2018

DRAWN BY: VAW  
APPROVED BY: VAW  
E-4

ANGLE

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Civil Engineers

Construction Managers

6200 Schaefer Road - Suite 102 - Dearborn, Michigan. 48126

Phone: (313) 220-5439 Email: mhachem27@gmail.com

RE: 7053 e m72

From: Skrzypczak, Mike (Mike.Skrzypczak@gtbindians.com)

To: dncacioppo@yahoo.com

Date: Monday, July 8, 2019, 8:43 AM EDT

H<sup>2</sup>O  
WATER Line

Good morning Dave,

Attached is the receipt for the payment. (We don't issue any documents) Please just let me know when you start working. We will need to inspect the work, thanks.

Michael Skrzypczak | East Bay Water Utilities Director | P: 231.534.7496 | C: 231.357.8738 | F: 231.534.7498 |  
The Grand Traverse Band of Ottawa and Chippewa Indians | [www.gtbindians.org](http://www.gtbindians.org)

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---

**From:** David Cacioppo <dncacioppo@yahoo.com>  
**Sent:** Friday, July 05, 2019 6:38 AM  
**To:** Skrzypczak, Mike <Mike.Skrzypczak@gtbindians.com>  
**Subject:** 7053 e m72

Good morning Mike

I see the checks have finally cleared Will you issue any approval notice or documents that have been approved and fees have been paid.

PCS Services, Inc

21970 Trufant Ct

Woodhaven Mich 48183

[dncacioppo@yahoo.com](mailto:dncacioppo@yahoo.com)

734-320-5345



**PAYMENT DATE**  
07/02/2019  
**COLLECTION STATION**  
01  
**RECEIVED FROM**  
PCS SERVICES INC  
**DESCRIPTION**  
WATER LINE HOOKUP

**GRAND TRAVERSE BAND OF OTTAWA &  
CHIPPewa INDIANS**  
2605 N. WEST BAY SHORE DR.  
PESHAWBESTOWN, MI 49682

**BATCH NO.**  
2019-00000754  
**RECEIPT NO.**  
2019-00004169  
**CASHIER**  
Jacko, Maxx

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT																
HKUP-TurtleCree	Turtle Creek SBR Hook Up Fee 100.1210 Due (to) from General \$4,020.00 400.1400.3120 Third Party Collections \$4,020.00	\$4,020.00																
Payments:	<table><tr><th>Type</th><th>Detail</th><th>Amount</th></tr><tr><td>Check</td><td>10792</td><td>\$4,020.00</td></tr></table>	Type	Detail	Amount	Check	10792	\$4,020.00											
	Type	Detail	Amount															
	Check	10792	\$4,020.00															
	<table><tr><td>Total Cash</td><td>\$0.00</td></tr><tr><td>Total Check</td><td>\$4,020.00</td></tr><tr><td>Total Charge</td><td>\$0.00</td></tr><tr><td>Total Wire</td><td>\$0.00</td></tr><tr><td>Total Other</td><td>\$0.00</td></tr><tr><td>Total Remitted</td><td>\$4,020.00</td></tr><tr><td>Change</td><td>\$0.00</td></tr><tr><td>Total Received</td><td>\$4,020.00</td></tr></table>	Total Cash	\$0.00	Total Check	\$4,020.00	Total Charge	\$0.00	Total Wire	\$0.00	Total Other	\$0.00	Total Remitted	\$4,020.00	Change	\$0.00	Total Received	\$4,020.00	
Total Cash	\$0.00																	
Total Check	\$4,020.00																	
Total Charge	\$0.00																	
Total Wire	\$0.00																	
Total Other	\$0.00																	
Total Remitted	\$4,020.00																	
Change	\$0.00																	
Total Received	\$4,020.00																	
Total Amount:		\$4,020.00																

Customer Copy

Customer Copy



## 7053 East M72 Williamsburg: Comments

From: Burzynski, Steve (MDOT) (BurzynskiS@michigan.gov)

To: dncacioppo@yahoo.com

Cc: WiestJ@michigan.gov

Date: Monday, June 17, 2019, 7:36 AM EDT

MDOT

Dave,

Since there is no work within the ROW a permit is not needed.

However, there is still an outstanding issue (rip rap and end sections are needed) with the approach that was constructed when the Tractor Supply store when in. We've made several attempts to have the contractor address this but to date they haven't been corrected.

### **Issues:**

1. Add rip rap to the end of the spillway.
2. Add end sections to each end.
  - a. The east end of the pipe is the bell end of the pipe and will need to be corrected before an end section can be added.

### **Contractor's contact information:**

1. Jim Reyers

Wolverine Building Group

4045 Barden SE, Grand Rapids, MI 49512

Email: [jreyers@WolvGroup.com](mailto:jreyers@WolvGroup.com)

Direct: 616.281.6171 / Mobile: 616.813.8465

Office: 616.949.3360 / Fax: 616.949.6211

[www.wolvgroup.com](http://www.wolvgroup.com) / [www.facebook.com/wolvgroup](https://www.facebook.com/wolvgroup)

*Steve Burzynski*

**Permit Agent**

*Michigan Department of Transportation*

*Traverse City Transportation Service Center*

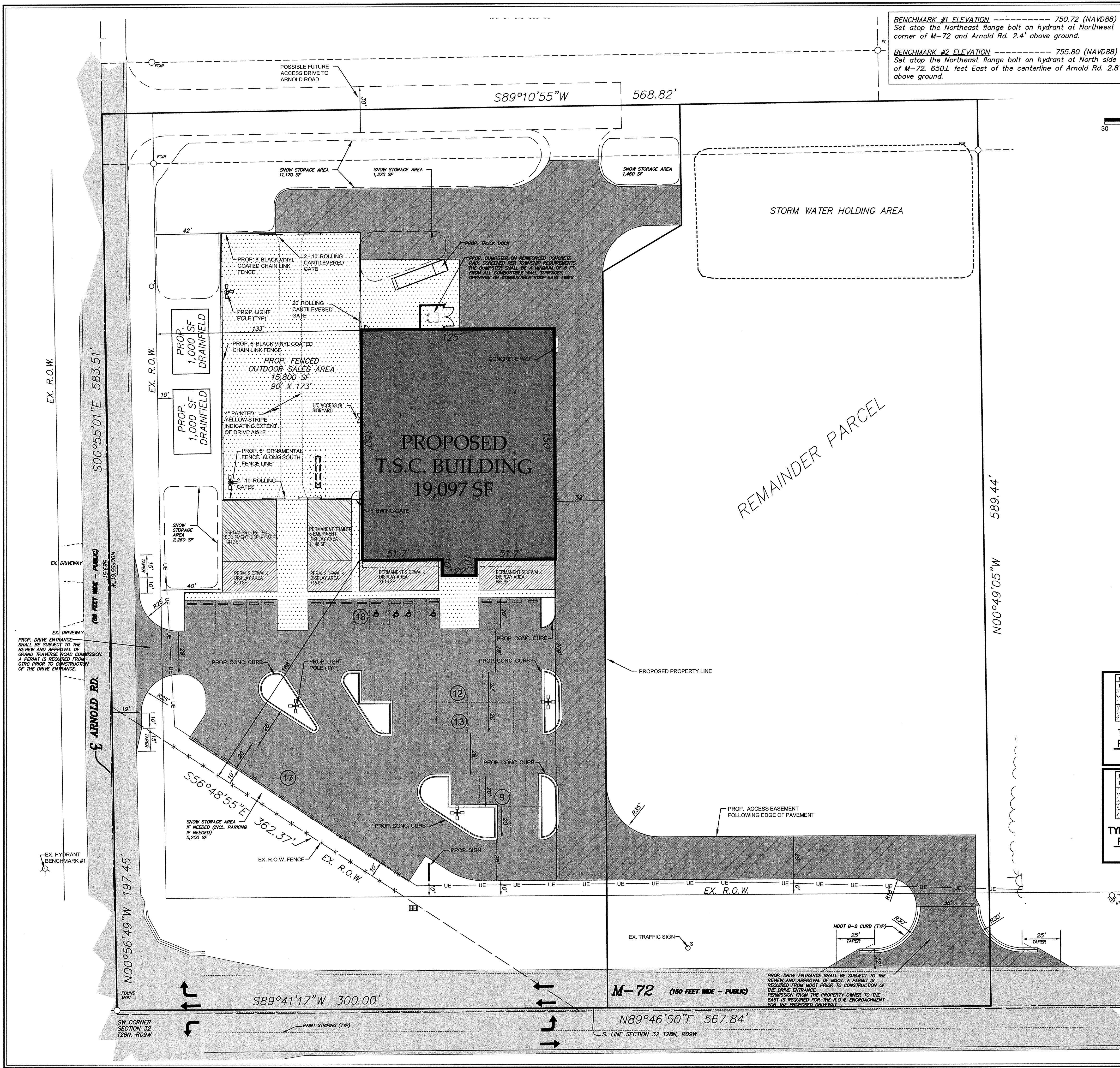
*2084 US-31 South, Suite B*

*Traverse City, MI 49685*

*Phone: 231-941-1986*

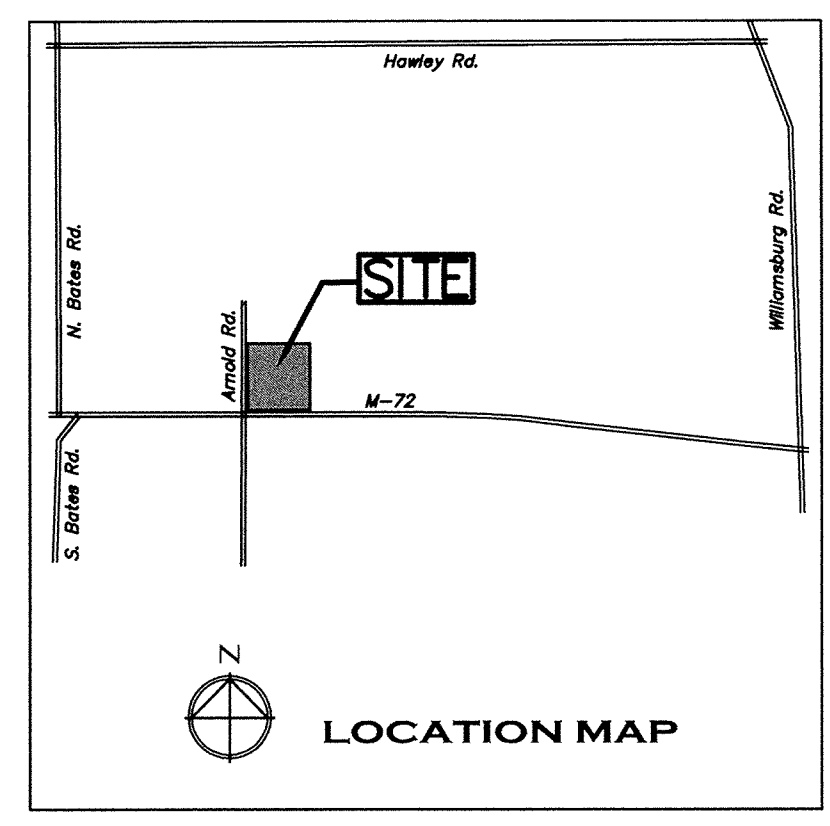
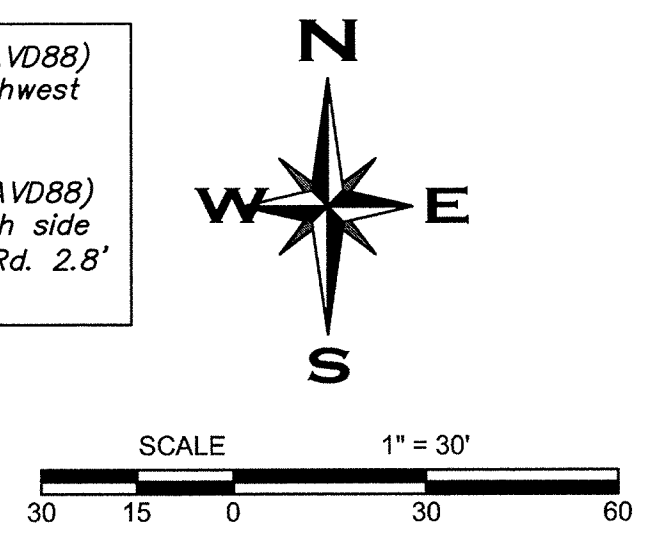
*Cell: 906-630-1058*



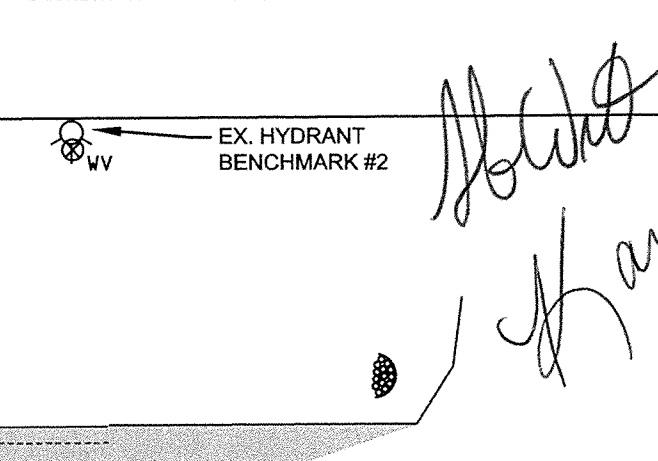
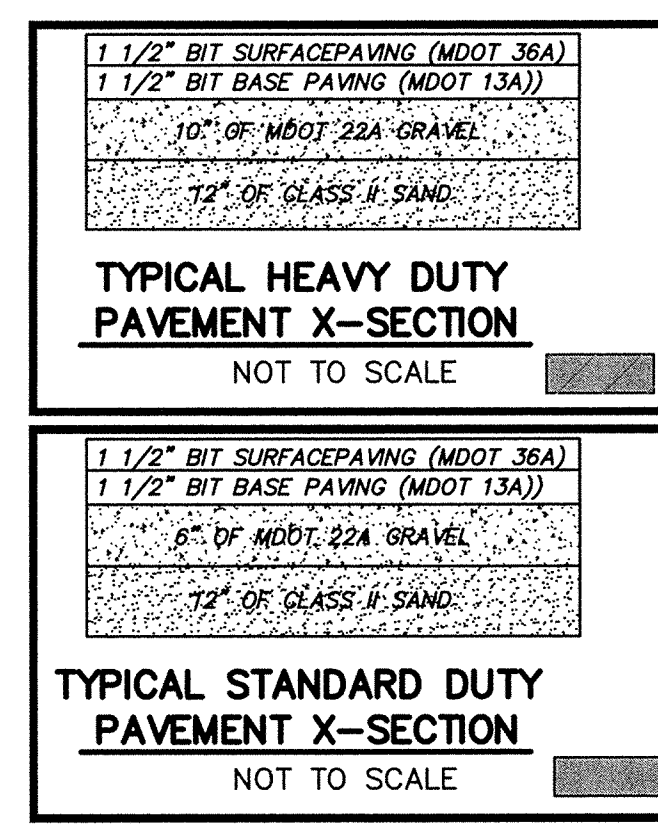


**BENCHMARK #1 ELEVATION** ----- 750.72 (NAVD88)  
Set atop the Northeast flange bolt on hydrant at Northwest corner of M-72 and Arnold Rd. 2.4' above ground.

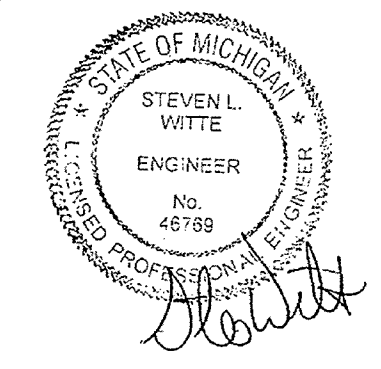
**BENCHMARK #2 ELEVATION** ----- 755.80 (NAVD88)  
Set atop the Northeast flange bolt on hydrant at North side of M-72. 650± feet East of the centerline of Arnold Rd. 2.8' above ground.



- ### GENERAL NOTES
- CURRENT ZONING OF PROPERTY: B-4 MATERIAL PROCESSING AND WAREHOUSING  
B-4 ZONING REQUIREMENTS:  
MINIMUM LOT AREA = NOT APPLICABLE  
MINIMUM LOT WIDTH = 150 FT  
MAXIMUM BUILDING HEIGHT = 3 STORIES OR 40 FT  
MAXIMUM LOT COVERAGE = NOT APPLICABLE  
MINIMUM ALLOWED BUILDING SETBACKS:  
FRONT YARD = 100 FT OFF M-72 (20% OF DEPTH ELSEWHERE)  
SIDE YARD = 29 FT (10% OF LOT WIDTH; 50 FT MAX)(289 FT WIDTH ALONG M-72)  
REAR YARD = 50 FT (10% OF LOT DEPTH; 50 FT MAX)(511 FT DEPTH)
  - SUMMARY OF LAND USE:  
A) TOTAL OVERALL ACREAGE 7.65 ACRES (333,308 SF) (INCLUDING ROAD R.O.W.)  
B) TRACTOR SUPPLY ACREAGE 6.13 ACRES (267,087 SF) (EXCLUDING ARNOLD AND M-72 R.O.W.)  
C) AREA OF PROPOSED BUILDING 19,097 SF (APPROXIMATELY 15,597 SF USABLE)  
D) BUILDING HEIGHT APPROXIMATELY 25 FT  
E) BUILDING LOT COVERAGE = APPROX. 13.2%  
F) GROSS DISPLAY AREA = APPROXIMATELY 21,954 SF (INCLUDING FENCED IN AREA)  
G) ZONING OF PARCELS TO NORTH, WEST AND EAST = B-4  
ZONING OF PARCELS TO SOUTH = A-1 AGRICULTURAL
  - PARKING REQUIREMENTS:  
A) MINIMUM REQUIRED PARKING SPACE PER TOWNSHIP 9' x 20' (20 FT AISLES)  
B) TYPICAL PARKING SPACE PROVIDED 10' x 20' (28 FT AISLES)  
C) TYPICAL BARRIER FREE SPACE 8'x20' (WITH 8 FT WIDE VAN ACCESSIBLE AISLES)  
D) NUMBER OF SPACES REQ'D 20 MIN. - 95 MAX. (1 PER 200 SF MAX & 1 PER 1,000 SF MIN)  
E) NUMBER OF SPACES PROVIDED = 69  
F) MINIMUM ALLOWED PARKING SETBACK = 10 FT IN FRONT YARD
  - THIS PROJECT IS NOT LOCATED IN THE 100 YEAR FLOOD PLAIN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS.
  - BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SEEDING AND MULCHING, SEDIMENT INLET FILTERS, COMPACTION AND PAVING.  
THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
  - SIGNS SHALL BE CONSTRUCTED TO THE STANDARDS SET FORTH BY THE ACME TOWNSHIP ZONING ORDINANCE.  
FREESTANDING SIGN:  
MAXIMUM SIZE = 32 SF (IF SHORTER THAN 8 FT TALL; GET 20% BONUS IN SIZE)  
MAXIMUM HEIGHT = 12 FT  
REQUIRED SETBACK = 10 FT  
WALL-MOUNTED SIGN:  
MAXIMUM SIZE 100 SF OR 10% OF THE WALL AREA WHERE SIGN IS PROPOSED, WHICHEVER IS LESS
  - UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
  - CONTRACTOR TO FIELD VERIFY ALL INVERTS.
  - ALL LIGHTING SHALL BE SHIELDED FROM ALL ADJACENT PROPERTIES.  
PROPOSED LIGHTING SHALL CONSIST OF WALL-MOUNTED LIGHTS AND LIGHT POLES, BOTH FITTED WITH SHOEBOX TYPE FIXTURES THAT DIRECT THE LIGHT DOWNWARD.
  - LANDSCAPING SHALL COMPLY WITH THE ACME TOWNSHIP ZONING ORDINANCE AND SHALL BE SIMILAR TO WHAT IS SHOWN IN THIS SITE PLAN SET.
  - THE PERMANENT PARCEL NUMBER FOR THE SITE S01-015-005-04.  
NO ADDRESS HAS BEEN ASSIGNED TO THE PARCEL AT THIS TIME.
  - THE SITE IS CURRENTLY VACANT.
  - THE CONSTRUCTION OF THE SITE WILL BEGIN IMMEDIATELY PENDING TOWNSHIP/AGENCY APPROVALS AND PERMITS. THE PROJECT WILL BE FINISHED IN 2015.  
THE PROJECT WILL BE COMPLETED IN ONE PHASE.
  - THE STORM WATER GENERATED FROM THE SITE WILL BE COLLECTED AND DETAINED PER TOWNSHIP REQUIREMENTS.
  - THE FENCE AROUND THE OUTDOOR SALES AREA WILL BE 6 FT TALL.



- ### LEGEND
- [Pattern] = EXISTING BITUMINOUS
  - [Pattern] = PROPOSED BUILDING
  - [Pattern] = PROPOSED ASPHALT PAVEMENT
  - [Pattern] = PROPOSED CONCRETE
  - [Pattern] = PROP. SIDEWALK DISPLAY AREA (CONCRETE)
  - [Pattern] = PROP. TRAILER DISPLAY AREA (CONCRETE)



Know what's below.  
Call before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETTED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

www.nederveld.com  
800.222.1868

**ANN ARBOR**  
3025 Miller Road  
Ann Arbor, MI 48103  
PHONE: 734.929.6963

**CHICAGO**  
1082 National Parkway  
Schaumburg, IL 60173  
PHONE: 312.878.3897

**COLUMBUS**  
6355 Old Avery Road, Suite A  
Dublin, OH 43016  
PHONE: 614.859.1127

**GRAND RAPIDS**  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
PHONE: 616.575.5190

**HOLLAND**  
347 Hoover Boulevard  
Holland, MI 49423  
PHONE: 616.858.0499

**INDIANAPOLIS**  
8459 Castlewood Dr., Suite B  
Indianapolis, IN 46250  
PHONE: 317.288.3762

Site Plan for:

**TRACTOR SUPPLY  
WILLIAMSBURG**

M-72 at Arnold Road

PART OF THE SW 1/4 OF SECTION 32, T28N, R9W,  
ACME TOWNSHIP, GRAND TRAVERSE COUNTY, MICHIGAN

**DMK -  
WILLIAMSBURG, LLC**

ATTN: DEREK MARINE  
3597 HENRY ST., SUITE 102  
MUSKEGON, MI 49441  
PHONE: (231) 760-5279

date	comment	date	comment

checked by: SW date: 06/24/14 drawn by: SW date: 06/24/14

project no.: 13401339

**G1B**

sheet no.: 2 OF 5

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# GRAND TRAVERSE METRO FIRE DEPARTMENT

## FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686  
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: [www.gtfire.org](http://www.gtfire.org) Email: [Info@gtfire.org](mailto:Info@gtfire.org)

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### SITE PLAN REVIEW RECORD

ID # P-1222-M6672

DATE: 6/10/19

PROJECT NAME: Acme Provisioning Medical Marihuana Facility

PROJECT ADDRESS: 7053 E. M-72

TOWNSHIP: Acme

APPLICANT NAME: David Cacioppo

APPLICANT COMPANY: PCS Service, Inc.

APPLICANT ADDRESS: 21970 Trufant Ct.

APPLICANT CITY: Woodhaven STATE: MI ZIP: 48183

APPLICANT PHONE 734-320-5345

FAX #

REVIEW FEE: \$75.00

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Reviewed By: Kathy Fordyce, Plan Reviewer

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



# GRAND TRAVERSE METRO FIRE DEPARTMENT

## FIRE PREVENTION BUREAU

897 Parsons Road ~ Traverse City, MI 49686  
Phone: (231) 922-2077 Fax: (231) 922-4918 ~ Website: [www.gtfire.org](http://www.gtfire.org) Email: [Info@gtfire.org](mailto:Info@gtfire.org)

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## SITE PLAN REVIEW

ID # P-1222-M6672

DATE: 6/10/19

### **1. 505.1 Address identification.**

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

**- Provide address on the street side of the property during construction and on the building when it is complete according to the above criteria.**

### **2. 503.3 Marking.**

Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility.

**-Provide NO PARKING-FIRE LANE signs along the North and East side of the building.**

**Project may proceed with township approval process.**



GRAND TRAVERSE COUNTY  
HEALTH DEPARTMENT  
231-995-6051

Permit # 38949 Township ACME

Name SILVER GATE INVESTMENTS

Address 7053 E. M-72

☒ SEWAGE DISPOSAL

Tank Size 1200g DBL

Field Size 250 lineal ft.  
750 sq. ft.

☐ WELL

MUNICIPAL

Issued By Bert Whit

Date 6/11/19

POST IN CONSPICUOUS PLACE



David  
734-320-5345

**Grand Traverse County Health Department**  
2650 LAFRANIER RD  
TRAVERSE CITY, MI 49686  
231-995-6051

GT #: **38949**

OWNER **SILVER GATE INVESTMENTS**

CURRENT

MAILING ADDRESS **20700 HARPER**

**HARPER WOODS, MI 48225**

PH. **586-436-4976**

NEW **Yes**

EXISTING

TYPE OF ESTABLISHMENT **Commercial**

PROPERTY ADDRESS **7053 E. M-72**

SUBDIVISION

CITY **Williamsburg**

LOT #

TOWNSHIP **Acme Twp.**

SECTION **32**

SOIL:

SOIL TYPE TO A DEPTH OF 6"

DEPTH TO GROUND WATER

TOP SOIL 0-9"  
SANDY LOAM 9-15"  
SANDY CLAY LOAM W/  
CLAY LOAM INCLUSIONS 15"-25"  
SANDY LOAM W/SANDY  
CLAY LOAM INCLUSIONS 25-33"  
MEDIUM SAND 33-55"  
LOAMY SAND 55-68"  
SANDY LOAM 68"-72"  
72"

SEPTIC TANK SIZE

**1200g DBL**

PUMP CHAMBER

EFFLUENT FILTER

**RECOMMENDED**

DRAIN BED

**15'x50'**

LINEAL FEET

**750**

SQUARE FEET

**750**

TILE LINES ON

**3 FT CENTERS**

TILE FIELD

TRENCH WIDTH

LINEAL FEET

OTHER

ADDITIONAL PERMIT SPECIFICATIONS:

NUMBER OF BEDROOMS

NUMBER OF BATHS

**2**

LAUNDRY

**NO**

DISHWASHER

**NO**

GARBAGE DISPOSAL

**NO**

BASEMENT PLUMBING

**NO**

SEWAGE EJECTOR

**NO**

EXISTING FUEL TANKS

**NO**

SHARED WELL

**NO**

OTHER

PROPERTY TAX # - **280101500508**

**WATER SUPPLY INFORMATION**

CITY

WELL

WELL TYPE **Municipal**

DEPTH

EXISTING WELL TO BE ABANDONED AND PLUGGED

**NO**

APPROVED

**WATER SAMPLE RESULTS**

BACTERIOLOGICAL

DATE SAMPLED

NITRATES

PPM DATE SAMPLED

**WATER SAMPLING REQUIREMENT**

- (1) Before placing a new, repaired, or reconditioned water supply system into service, and after all traces of chlorine have been flushed out, 1 or more water samples shall be collected from the sampling faucet. Organisms of the coliform group shall not be present in the sample or samples.
- (2) The water supply owner shall be responsible for collecting the water sample or shall arrange for the owner's designated representative to collect the sample. The well drilling contractor or pump installer shall notify the water supply owner of the owner's responsibility for collecting the water sample.

**AGREEMENT**

I HEREBY AGREE TO COMPLY WITH REQUIREMENTS OF THE SANITARY CODE FOR THE COUNTY OF GRAND TRAVERSE, AND THE APPLICABLE LAWS OF THE STATE OF MICHIGAN IN THE INSTALLATION OF A SEPTIC TANK SEWAGE DISPOSAL SYSTEM & /OR WELL INSTALLATION ON THE ABOVE DESCRIBED PROPERTY, AND TO CONSTRUCT THE SAME ACCORDING TO THE PLANS AND SPECIFICATIONS AS DESCRIBED AND APPROVED ABOVE; OTHERWISE I UNDERSTAND, THE PERMIT WILL BE VOID.

THE FINAL INSPECTION REQUIRED BEFORE COVERING. ONE DAY NOTICE SHALL BE GIVEN FOR INSPECTION.

SIGNED

*on file - see attached*

DATE

**5/28/19**

OWNER OR AGENT

*fm*

THE SPECIFICATIONS AS STATED ON THIS PERMIT MEET WITH MINIMUM REQUIREMENTS OF THE SANITARY CODE. THE OWNER SHOULD BE ADVISED THAT ADDITIONAL CONSTRUCTION OPTIONS MAY BE AVAILABLE WHICH COULD EXTEND THE LIFE EXPECTANCY OF THE SEWAGE SYSTEM. CONSULT WITH THE HEALTH DEPARTMENT REGARDING THESE OPTIONS.

PERMIT TO INSTALL, CONSTRUCT OR REPLACE  
**EXPIRES 2 YEARS AFTER DATE OF ISSUE**  
PERMIT IS NON-TRANSFERABLE TO PERSON OR PLACE

SEE REVERSE SIDE FOR DRAWING AND CONSTRUCTION DETAILS

CERTIFICATION OF INSPECTION  
(PERMIT TO COVER)

SEWER \_\_\_\_\_ SEPTIC TANK \_\_\_\_\_ PUMP CHAMBER \_\_\_\_\_

MANUFACTURER OF SEPTIC TANK \_\_\_\_\_

FINAL DISPOSAL \_\_\_\_\_ ISOLATION DIST \_\_\_\_\_

NOTES \_\_\_\_\_

INSPECTION BY \_\_\_\_\_ DATE \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_

SEPTIC

WELL

APPROVAL OF A PLAN AND THE INSTALLATION CANNOT BE CONSIDERED BY THE OWNER AS A GUARANTEE THAT SUCCESSFUL OPERATION IS ASSURED. THERE ARE MANY WAYS A SYSTEM CAN BE ABUSED CAUSING FAILURE.

ISSUED TO

**SILVER GATE INVESTMENTS**

DATE

**6/11/19**

BY

**8-5 WWT**

HEALTH DEPT. REPRESENTATIVE

RECEIPT #

**48408**

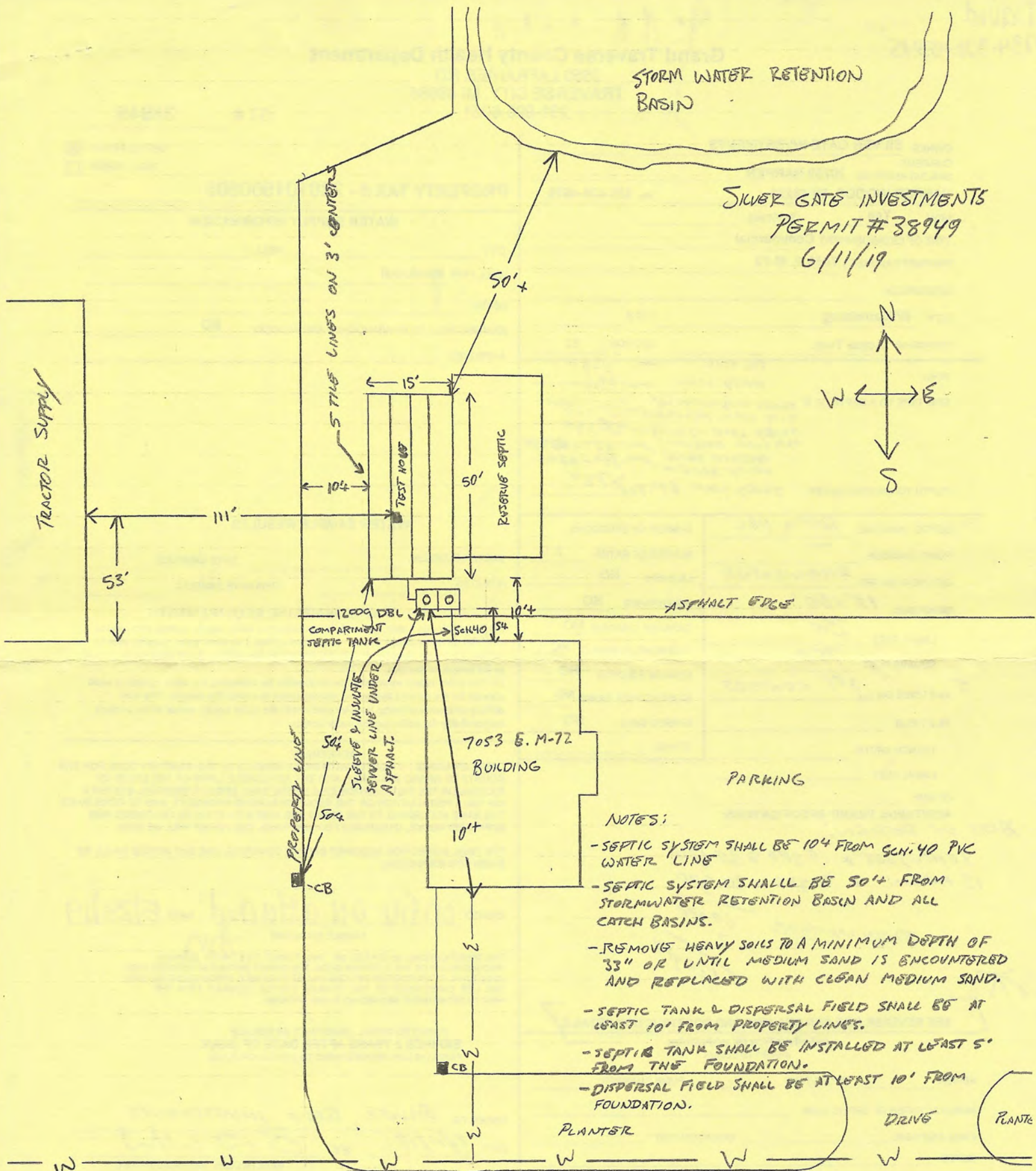
DATE

**7/1/19**

RECEIVED

\$375.00 Septic permit  
\$175.00 Septage surcharge  
\$10.00 Septage processing







# EARTH CHANGE PERMIT

GRAND TRAVERSE COUNTY

Soil Erosion & Sedimentation Control Department

2650 LaFranier Road

Traverse City, MI 49686

(231) 995-6051

Permit No. 19-00470 Township ACME

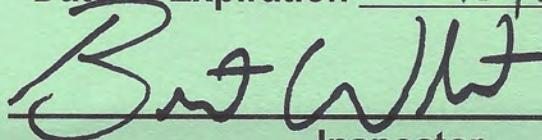
Address 7053 E. M72

Section No. 32 Town 28N Range 9W

Date of Issue 6/25/19 Date of Expiration 12/25/19

SOIL EROSION and SEDIMENTATION CONTROL  
(PART 91 OF ACT 451, P.A. 1994, as amended)

GRAND TRAVERSE COUNTY SOIL EROSION  
& SEDIMENTATION CONTROL ORDINANCE (as amended)



Inspector

PLEASE POST PERMIT VISIBLE FROM STREET OR HIGHWAY.



# GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT

Issued under the authority of Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, (1994 PA 451, as amended) and/or Grand Traverse County SESC Ordinance.

Property Owner (Permittee): SILVER GATE INVESTMENTS

Mailing Address: 20700 HARPER

City, State, Zip: HARPER WOODS, MI 48225

Phone: 586-436-4976

**Contractor/On-Site Responsible Person:**

Name: PCS SERVICES, INC

Mailing Address: 21970 TRUFANT

City, State, Zip: WOODHAVEN, MI 48183

Phone: 734-320-5345

Email: DNCACIOPPO@YAHOO.COM

Permit #: 19-00470

Type: COMMERCIAL

Date Issued: 06/25/19

Site Priority: Low (2)

Expiration: 12/25/19

Fee: \$940.00

Receipt #: 48408

Renewal: \_\_\_\_\_

**DEQ PERMIT (if applicable)**

Permit #: \_\_\_\_\_

Issue Date: \_\_\_\_\_

**PROJECT LOCATION**

Site Address: 7053 E M-72 Township: ACME

Tax Number: 01-015-005-08 Section: 32 Town: 28N Range: 9W

Subdivision: \_\_\_\_\_ Lot #: \_\_\_\_\_

**PERMITTED ACTIVITY:**

**EXCAVATION AND GRADING TO CONSTRUCT NEW COMMERCIAL BUILDING WITH PARKING LOT AND SEPTIC**

**PERMIT CONDITIONS**

1. The permitted activity shall be completed in accordance with the approved plans and specifications, and the attached general and specific conditions.
2. This permit does not waive the necessity for obtaining all other required federal, state, or local permits.
3. Permittee shall notify the permitting agency within one week after completing the permitted activity or one week prior to the permit expiration date, whichever comes first.

**THIS PERMIT ALONG WITH THE SOIL EROSION SITE PLAN AND GREEN CARD MUST BE POSTED AT THE PROJECT SITE**





# **GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT**

Issued under the authority of Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, ( 1994 PA 451, as amended) and/or Grand Traverse County SESC Ordinance.

## **GENERAL CONDITIONS**

In accordance with Rule 1709 promulgated under the authority of Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended, and in addition to the information on the attached plan(s) and special conditions, the following general conditions apply to the earth change authorized by this permit:

- Design, construct, and complete the earth change in a manner that limits the exposed area of disturbed land for the shortest period of time.
- Remove sediment caused by accelerated soil erosion from runoff water before it leaves the site of the earth change.
- Temporary or permanent control measures shall be designed and installed to convey water around, through, or from the earth change at a non-erosive velocity.
- Install temporary soil erosion and sedimentation control measures before or upon commencement of the earth change activity and maintain the measures on a daily basis. Remove temporary soil erosion and sedimentation control measures after permanent soil erosion measures are in place and the area is stabilized. ("Stabilized" means the establishment of vegetation or the proper placement, grading, or covering of soil to ensure its resistance to soil erosion, sliding, or other earth movement.)
- Complete permanent soil erosion control measures for the earth change within five calendar days after final grading or upon completion of the final earth change. If it is not possible to permanently stabilize the earth change, then maintain temporary soil erosion and sedimentation control measures until permanent soil erosion control measures are in place and the area is stabilized.

## **SPECIFIC CONDITIONS**

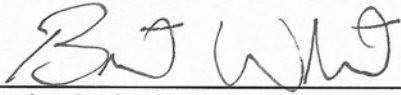
**THIS PERMIT IS APPROVED ACCORDING TO THE SITE PLAN RECEIVED ON MAY 28, 2019 WITH THE FOLLOWING ADDITIONAL REQUIREMENTS:**

- 1. INSTALL SILT FENCE AS SHOWN ON SITE PLAN PER MANUFACTURER'S SPECIFICATIONS, PROPERLY TRENCHED 6 INCHES AND ENDS WRAPPED (SEE ATTACHED HANDOUT).**
- 2. ALL SPOIL AND DEBRIS PILES SHALL BE STORED BEHIND THE SILT FENCE SO AS NOT TO ALLOW SEDIMENT OR DEBRIS FROM LEAVING THE SITE.**
- 3. DO NOT ALLOW SEDIMENT TO BE TRACKED ONTO STREET. IF TRACKING DOES OCCUR, SWEEP THE STREET AT THE END OF EACH WORK DAY.**
- 4. INSTALLING RAIN GUTTERS WITH DOWN SPOUTS OR STONE DRAINS UNDER ROOF DRIP EDGES TO PREVENT EROSION FROM ROOF WATER RUNOFF IS HIGHLY RECOMMENDED.**
- 5. WITHIN 5 DAYS OF FINAL GRADING, PLACE SEED AND STRAW MULCH OVER ALL DISTURBED AREAS. IT IS HIGHLY RECOMMENDED TO PLACE 4 INCHES OF TOPSOIL ON ALL DISTURBED AREAS TO SPEED VEGETATION GROWTH. A LACK OF TOPSOIL MAY INHIBIT VEGETATION GROWTH AND DELAY SITE STABILIZATION.**



6. IF A CERTIFICATE OF OCCUPANCY IS REQUESTED AND THE SITE IS NOT STABILIZED, A SURETY AS DETERMINED BY THE SANITARIAN WILL BE REQUIRED. IT IS RETURNED ONCE THE SITE RECEIVES AN APPROVED FINAL INSPECTION FROM THIS OFFICE.

7. ANY VEGETATION SHALL BE WELL ESTABLISHED AND SHOW SIGNIFICANT GROWTH IN ORDER TO FINAL THIS PERMIT.

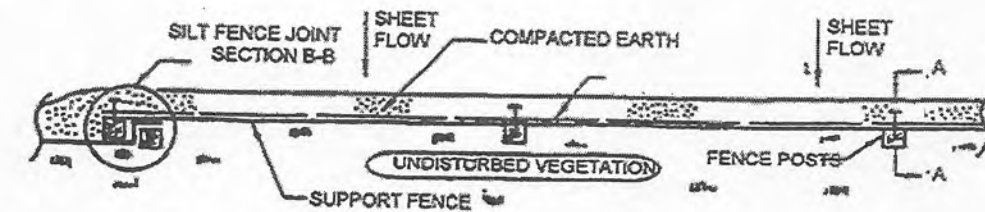


SESC Issuing Sanitarian  
BRENT WHEAT, 231-995-6015

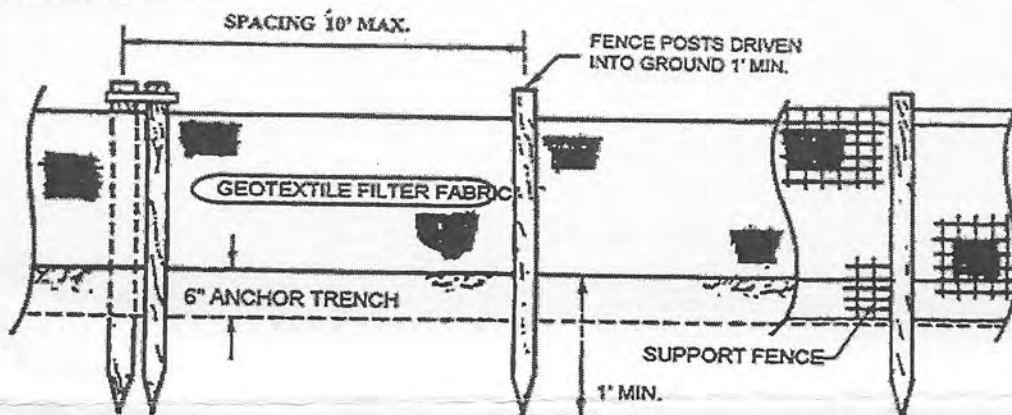
06/25/19

Issue Date

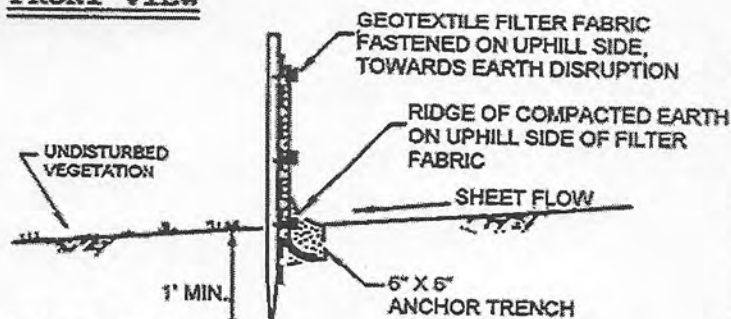
## SILT FENCE



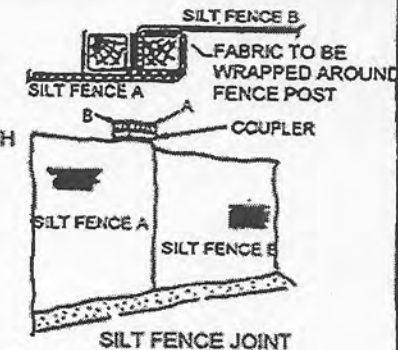
**PLAN VIEW**



**FRONT VIEW**



**SECTION A-A**



**SECTION B-B**

\*Install silt fence per manufacturer's specifications.

\*Silt fence fabric shall be maintained to remain taut during its use as a temporary sediment control.

\*Occasionally the fabric may detach from the stakes and it shall be reattached to maintain protection.

\*Accumulated sediment along the perimeter of the silt fence shall be removed after reaching 33% height of silt fence top.

\*Silt fence shall be placed along a horizontal contour, perpendicular to the direction of flow.

\*The silt fencing shall be trenched in to a depth of six inches and backfilled with the stakes on the low side of the slope. **(SEE SECTION A-A)**

\*If a connection of silt fence is required the fence must be wrapped/joined so there is no break between sections. **(SEE SECTION B-B)**



7 SOIL EROSION AND  
REFER TO NUMBERS  
BASED ON MDOT

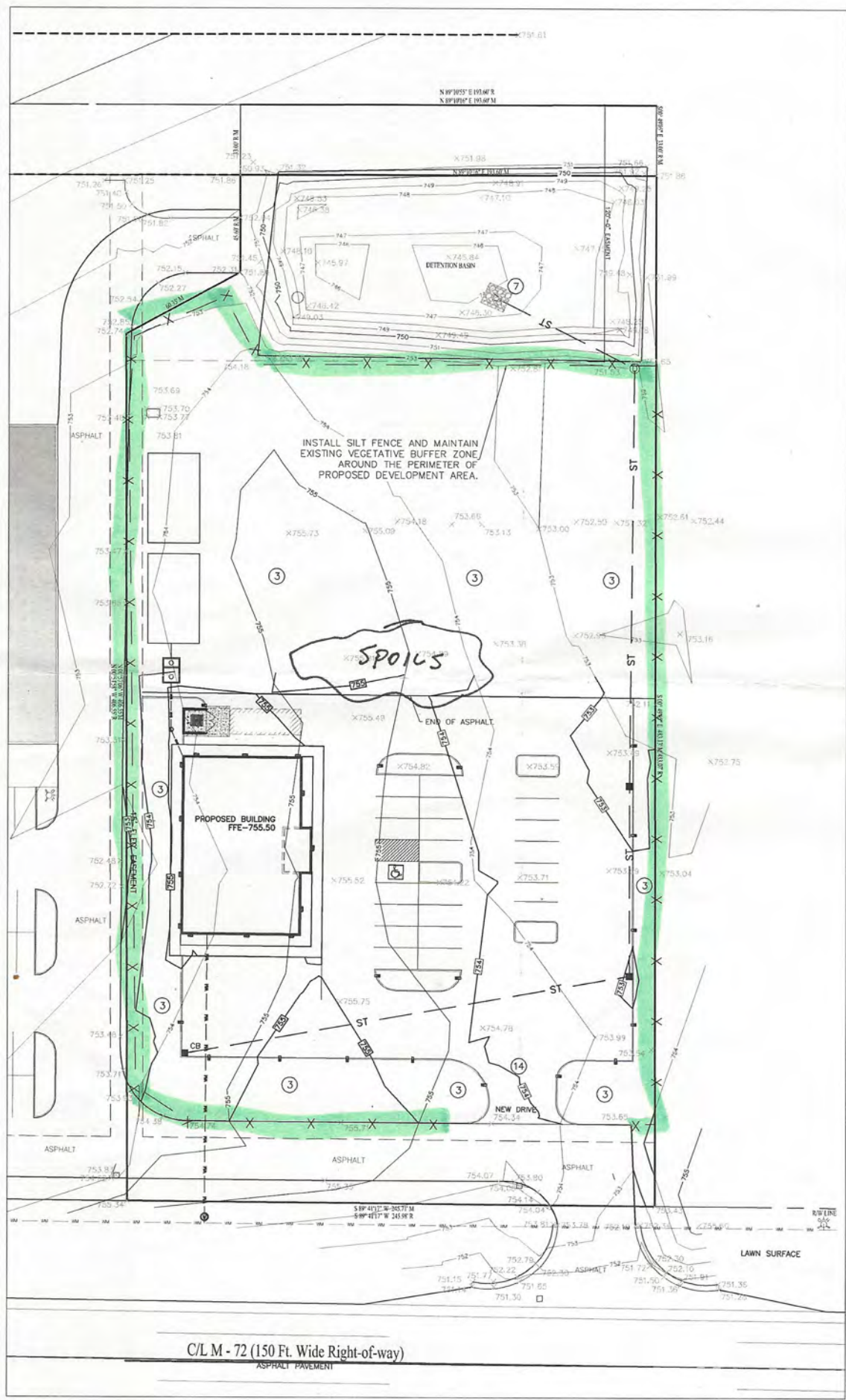
**EROSION CONTROL**

INSTALL SEDIMENT CONTROL  
START EXCAVATION 7/1/14  
CONSTRUCTION BUILDINGS  
PAVING 9/1/14  
FINAL GRAD SEED & MULCH  
SEDIMENT CONTROL REMOVAL

REVIEWED /  
Soil Erosion  
Subject to File

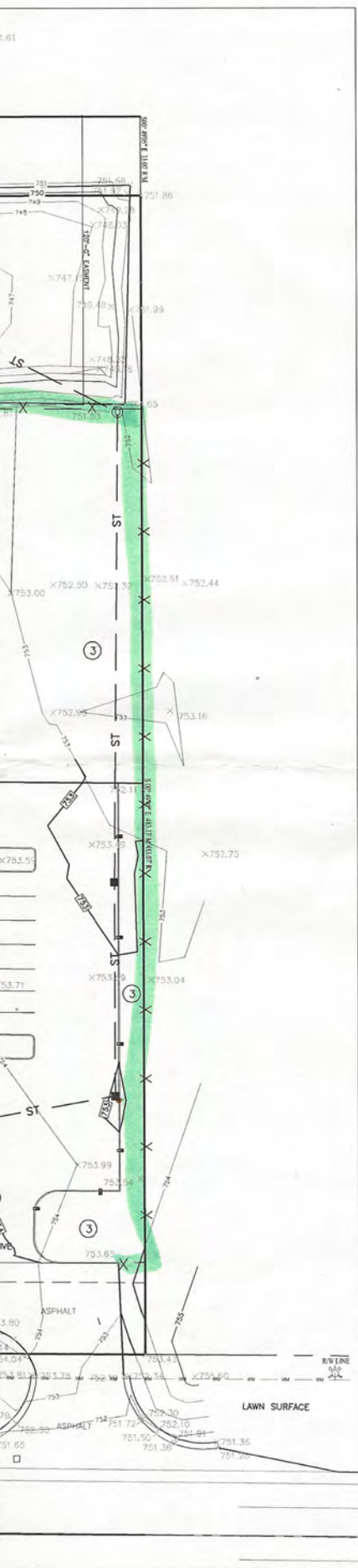
Reviewer *Ba*

PRELIMINARY NOT



C/L M - 72 (150 Ft. Wide Right-of-way)  
ASPHALT PAVEMENT





7 SOIL EROSION AND SEDIMENTATION CONTROL  
REFER TO NUMBERED CONTROL MEASURES  
BASED ON MDOT

#### EROSION CONTROL SCHEDULE

INSTALL SEDIMENT CONTROLS 7/1/19  
START EXCAVATION 7/1/19  
CONSTRUCTION BUILDINGS 8/1/19 - 7/9/19  
PAVING 9/19  
FINAL GRADE, SEED & MULCH 9/15/19  
SEDIMENT CONTROL REMOVAL 10/30/19

REVIEWED / APPROVED  
Soil Erosion Compliance  
Subject to Field Inspections

Reviewer BW Date 8/24/19

PRELIMINARY NOT FOR CONSTRUCTION

#### SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (COMPREHENSIVE) (THE MDOT SOIL EROSION AND SEDIMENTATION CONTROL MANUAL)

- A = SLOPES
- B = STREAMS AND WATERWAYS
- C = SURFACE DRAINAGEWAYS
- D = ENCLOSED DRAINAGE (IN)
- E = LARGE FLAT SURFACE AREA
- F = BORROW AND STOCKPILE
- G = DNR PERMIT MAY BE REQUIRED

KEY	DETAIL	
3	 PERMANENT/TEMPORARY SEEDING	INEXPENSIVE FLAT AREAS PERMITS RUN PROPER PREP WATERING IS
7	 RIPRAP	USED WHERE VERY EFFECTIVE SHOULD BE F
14	 GRAVEL ACCESS APPROACH	PROVIDES A AND TRACKING
25	 SAND FENCE AND DUNE STABILIZATION	A SAND FENCE CAN BE USED MUST BE MA
26	 SILT FENCE	A PERMEABLE SEDIMENTS F CAN BE USED INEFFECTIVE OR DITCHES
27	 PLASTIC SHEETS OR GEOTEXTILE COVER	PLASTIC SHEET CAN ALSO BE OF STOCKPILE

# SOIL EROSION AND SEDIMENTATION CONTROL NOTES

TOTAL DISTURBED EARTH AREA: 4.89 ACRES

CONTRACTOR SHALL OBTAIN A COPY OF THE SOIL EROSION PERMIT FOR THIS PROJECT AND FAMILIARIZE THEMSELVES WITH THE REQUIREMENTS THEREOF PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTH CHANGE ACTIVITIES.

CONTRACTOR SHALL OBTAIN A COPY OF THE ACME TOWNSHIP STORMWATER CONTROL ORDINANCE AND FAMILIARIZE THEMSELVES WITH THE APPLICABLE PROVISIONS OF SECTION G. "SOIL EROSION CONTROL-TEMPORARY AND PERMANENT".

STORMWATER RUNOFF CONTROL AND SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE GRADING, FILLING OR REMOVAL OF VEGETATIVE COVER IS INITIATED.

EARTH CHANGES SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.

CONTRACTOR SHALL INSPECT ALL SOIL EROSION CONTROL MEASURES DAILY AND IMMEDIATELY FOLLOWING A STORM EVENT AND REPLACE OR REPAIR AS NEEDED.

INFILTRATION BASIN MAINTENANCE REQUIREMENTS  
OWNER OF THIS FACILITY SHALL INSPECT INFILTRATION FOREBAY AT LEAST ANNUALLY AND IMMEDIATELY FOLLOWING A MAJOR STORM EVENT TO DETERMINE SEDIMENT DEPTH IN FOREBAY AND IMMEDIATELY REMOVE SEDIMENT WHEN SEDIMENT LEVEL REACHES A DEPTH OF 12".







## SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

MDOT BEST MANAGEMENT PRACTICES

### APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (COMPREHENSIVE DETAILS ARE LOCATED IN SECTION 6 OF THE MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL)

- A = SLOPES
- B = STREAMS AND WATERWAYS
- C = SURFACE DRAINAGEWAYS
- D = ENCLOSED DRAINAGE (INLET & OUTFALL CONTROL)
- E = LARGE FLAT SURFACE AREAS
- F = BORROW AND STOCKPILE AREAS
- G = DUNE PERMIT MAY BE REQUIRED

MICHIGAN D.O.T.  
SOIL EROSION & SEDIMENTATION  
CONTROL MEASURES  
DOCUMENT: R-96-E  
EDITION 2010

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
3	 PERMANENT/TEMPORARY SEEDING	INEXPENSIVE BUT EFFECTIVE EROSION CONTROL MEASURE TO STABILIZE FLAT AREAS AND MILD SLOPES. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUMES. PROPER PREPARATION OF THE SEED BED, FERTILIZING, MULCHING AND WATERING IS CRITICAL TO ITS SUCCESS.	*	*	*	*	*	*	*
7	 RIPRAP	USED WHERE VEGETATION CANNOT BE ESTABLISHED. VERY EFFECTIVE IN PROTECTING AGAINST HIGH VELOCITY FLOWS. SHOULD BE PLACED OVER A GEOTEXTILE LINER.	*	*	*	*	*	*	*
14	 GRAVEL ACCESS APPROACH	PROVIDES A STABLE ACCESS TO ROADWAYS MINIMIZING FUGITIVE DUST AND TRACKING OF MATERIALS ONTO PUBLIC STREETS AND HIGHWAYS.	*	*	*	*	*	*	*
25	 SAND FENCE AND DUNE STABILIZATION	A SAND FENCE TRAPS BLOWING SAND BY REDUCING WIND VELOCITIES. CAN BE USED TO PREVENT SAND FROM BLOWING ONTO ROADS. MUST BE MAINTAINED UNTIL SAND SOURCE IS STABILIZED.	*	*	*	*	*	*	*
26	 SILT FENCE	A PERMEABLE BARRIER ERECTED BELOW DISTURBED AREAS TO CAPTURE SEDIMENTS FROM SHEET FLOW. CAN BE USED TO DIVERT SMALL VOLUMES OF WATER TO STABLE OUTLETS. INEFFECTIVE AS A FILTER AND SHOULD NEVER BE PLACED ACROSS STREAMS OR DITCHES WHERE FLOW IS CONCENTRATED.	*	*	*	*	*	*	*
27	 PLASTIC SHEETS OR GEOTEXTILE COVER	PLASTIC SHEETS CAN BE USED TO CREATE A LINER IN TEMPORARY CHANNELS. CAN ALSO BE USED TO CREATE A TEMPORARY COVER TO PREVENT EROSION OF STOCKPILED MATERIALS.	*	*	*	*	*	*	*

**ANGLE**  
Design & Construction, llc.

Civil Engineers - Construction Managers  
6200 Schaefer Road - Suite 102, Dearborn, Michigan 48126  
Phone: (313) 220-5439 Email: mbauchem27@gmail.com

MEDICAL MARIHUANA PROVISIONING FACILITY

7053 EAST M72  
WILLIAMSBURG, MI 49690

Scale: 1" = 30'  
Proj. No. 04/1919  
Date: 04/19/2019  
Drawing No.: C-3

SOIL EROSION PLAN

ENGINEER SEAL



SYN	DATE	DESCRIPTION	BY	APP'D
	04/22/2019	SITE PLAN		

SEDIMENTATION CONTROL  
CONTROL MEASURES

SCHEDULE

7/1/19  
7/1/19 - 7/9/19  
9/18/19  
10/30/19

APPROVED  
Compliance  
Inspections

Date 6/24/19

FOR CONSTRUCTION



## Shawn Winter

---

**From:** Bob Verschaeve, P.E. <rmverschaeve@goslingczubak.com>  
**Sent:** Tuesday, June 25, 2019 2:08 PM  
**To:** Shawn Winter; Lindsey Wolf  
**Subject:** RE: 7053 E M72 Williamsburg / acme

Shawn & Lindsey,

I took a look at this site and the old Tractor Supply site and the review we did for that. The engineer for that site accounted for approximately 88,000 sft of impervious area as future development on that part of the site. There is about 38,000 sft of impervious area proposed for this site. So, the existing basin can handle the additional runoff that would be generated. I have not seen the other documentation this applicant has provided but it would likely be good to review in case it is something other than what I had for Tractor Supply.

I would like to see some more complete and coordinated drawings that have pipe sizes, catch basin details, etc. Also there are discrepancies between on sheet noting curb around the parking lot while other sheet(s) note the curb is only for the islands. Since the drainage is primarily to the east where the catch basins are located along the edge of the parking lot, there definitely needs to be curb and it needs to be clear on the drawings that it is proposed and what the detail is.

Robert Verschaeve, P.E. | Project Manager  
**Gosling Czubak Engineering Sciences, Inc.**

231.946.9191 office | 231.933.5102 direct  
[rmverschaeve@goslingczubak.com](mailto:rmverschaeve@goslingczubak.com) | [www.goslingczubak.com](http://www.goslingczubak.com)

[Connect with us on LinkedIn!](#)

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**From:** Shawn Winter <swinter@bria2.com>  
**Sent:** Tuesday, June 18, 2019 8:47 AM  
**To:** Lindsey Wolf <Zoning@acmetownship.org>; Bob Verschaeve, P.E. <rmverschaeve@goslingczubak.com>  
**Subject:** RE: 7053 E M72 Williamsburg / acme

Thank you, Lindsey.

Bob, I have started the review already and am making a strong recommendation that the amount of impervious parking be greatly reduced. You'll see it's quite excessive. Is it best to perform the review as presented and verify if the capacity of the existing basin meets what is proposed? In that case, a reduction in asphalt will only decrease the volume entering the basin.

The basin itself is a peculiar situation. Supposedly the basin was constructed with the Tractor Supply Company, at a time when both that parcel and the subject parcel were one lot. There is an existing drainage easement for that basin. The applicant did send over some documentation that is in the folder on Lindsey's computer. Please let her know if you need any additional background information.

Thanks,

Shawn Winter  
Professional Planner



## Shawn Winter

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**From:** Lindsey Wolf <Zoning@acmetownship.org>  
**Sent:** Thursday, August 1, 2019 3:38 PM  
**To:** Shawn Winter  
**Subject:** FW: PlanS Revised - Acme Provisioning 7053 E M72

For your Acme Provisioning Report – update from Bob.

The other agency reviews “will be sent via email this afternoon”.

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**From:** Bob Verschaeve, P.E. <rmverschaeve@goslingczubak.com>  
**Sent:** Thursday, August 01, 2019 3:31 PM  
**To:** Lindsey Wolf <Zoning@acmetownship.org>  
**Subject:** RE: PlanS Revised - Acme Provisioning 7053 E M72

Hi Lindsey,

Yes, I did receive the revised plans. I’m sorry I haven’t gotten back to you sooner. The last couple weeks have been crazy and I’m going to be off next week. Yikes!

Anyways, I reviewed my comments from the message I sent in regards to the original submittal for this site. Here they are for reference:

*I took a look at this site and the old Tractor Supply site and the review we did for that. The engineer for that site accounted for approximately 88,000 sft of impervious area as future development on that part of the site. There is about 38,000 sft of impervious area proposed for this site. So, the existing basin can handle the additional runoff that would be generated. I have not seen the other documentation this applicant has provided but it would likely be good to review in case it is something other than what I had for Tractor Supply.*

*I would like to see some more complete and coordinated drawings that have pipe sizes, catch basin details, etc. Also there are discrepancies between on sheet noting curb around the parking lot while other sheet(s) note the curb is only for the islands. Since the drainage is primarily to the east where the catch basins are located along the edge of the parking lot, there definitely needs to be curb and it needs to be clear on the drawings that it is proposed and what the detail is.*

It looks like they reduced the impervious area for this site so I have no concerns regarding the amount of runoff volume. The basin was sized when Tractor Supply went in to handle 88,000 sft of impervious area on this site and they are well below that. These current plans have pipe sizes and details as requested. What I noticed though is there is a 44’ lawn area between the edge of the parking lot and the curb line near the east property line. The catch basins are at this curb line. The calculations for the pipe on the plans use C factors that appear to be the combination of hard surface and lawn to calculate the runoff flow for sizing the pipes. It looks like this pavement and curb configuration proposed sets the site up for a future parking expansion. If that were to ever happen, the C factor would change and the pipes could be undersized. I’m not sure if expansion of the lot would be allowed, but I just wanted to point that out now. The plan works as it is now though.

Can these comments suffice for the Planning Commission at this point? I can get a memo to you when I get back the week of the 12<sup>th</sup>.

Thanks,  
Bob

## MEMORANDUM

**TO:** Acme Township Planning Commission  
**FILE NO.** 5385.00  
**FROM:** Jeffrey L. Jocks, OLSON, BZDOK & HOWARD, P.C.  
**DATE:** July 10, 2013  
**RE:** Officer Election Process

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The purpose of this memo is to set out the general process that this Planning Commission has used for elections of Planning Commission officers. The process is basically the same as found in Robert's Rules of Order.

1. The Chairperson states that elections for officers shall begin and that each officer shall be elected in turn.
2. The Chairperson opens nominations for the office of Chairperson.
3. Any member of the Planning Commission may nominate any other member for Chairperson.
4. Voting for Chairperson occurs in the order of nomination. The person nominated first is voted upon by roll call vote and if a majority votes in favor of that person being elected as Chairperson, then no more votes are taken. If there is not a majority in favor, then the person nominated second is voted upon, and so on until a nominee is elected by a majority. The nominee recuses him or herself from voting.
5. Steps 2 through 4 are repeated for Vice Chairperson and then for Secretary.